

CIVIL CONSTRUCTION PLANS
FOR

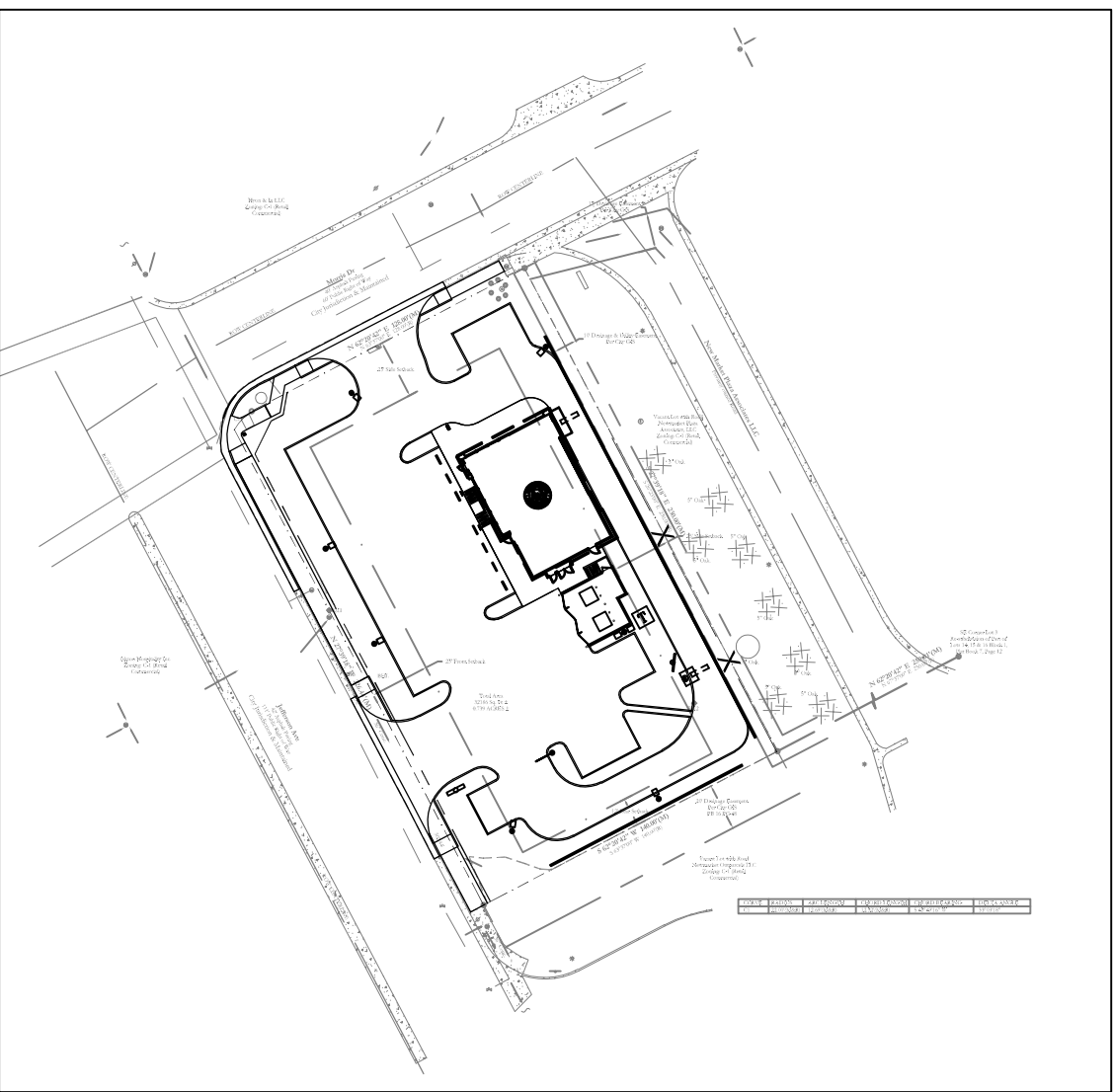


PANDA EXPRESS
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

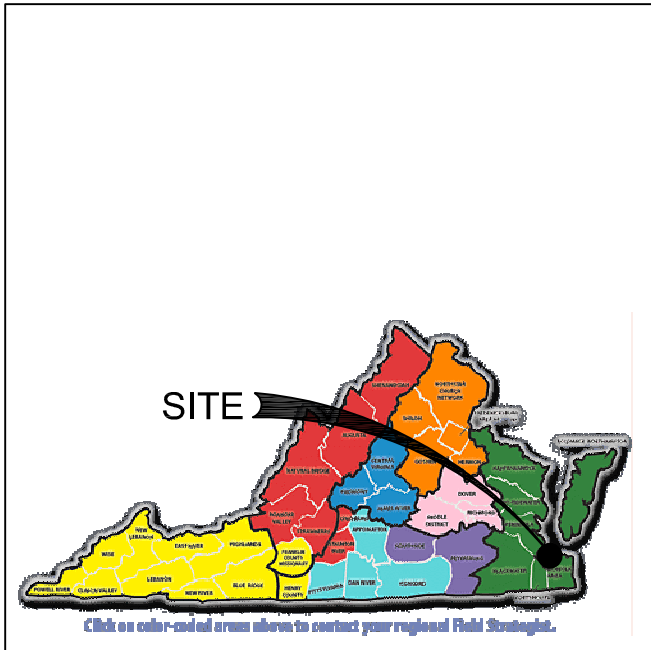
PREPARED FOR:
PANDA EXPRESS INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
PHONE: 626.799.9898
FAX: 626.372.8288

SITE DATA TABLE

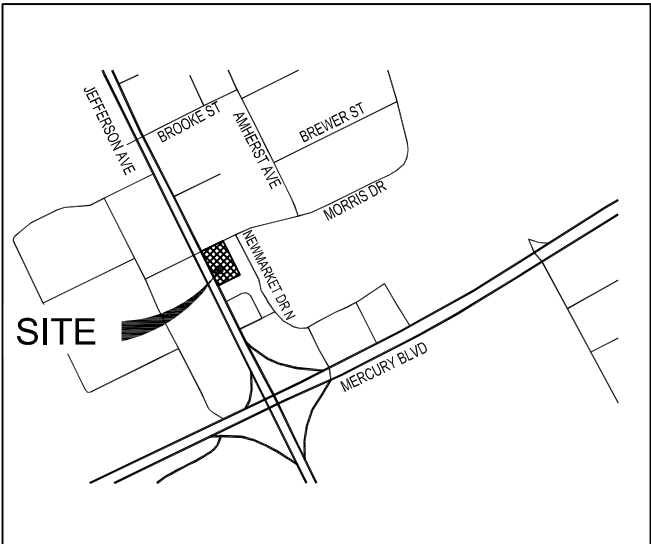
JURISDICTION: CITY OF NEWPORT NEWS	
PARCEL ID: 289000728	
SITE AREA: TOTAL SITE AREA = 32,186 SF / 0.739 AC TOTAL DISTURBED AREA = 35,135 SF / 0.81 AC TOTAL DISTURBED AREA IN ROW = 2,949 SF / 0.07 AC	
ZONING: C-1 (RETAIL COMMERCIAL)	
REQUIRED BUILDING SETBACKS: FRONT (N) = 25' (MORRIS) REAR (S) = 12' SIDE (W) = 25' (JEFFERSON) SIDE (E) = 5'	
SITE ACREAGE: EXISTING = 32,186 SF / 0.739 ACRES ROW DEDICATION = 896 SF / 0.021 ACRES PROPOSED = 31,290 SF / 0.718 ACRES	
LOT COVERAGE: MAX. LOT COVERAGE = 50% PANDA EXPRESS = 2,406 SF BLDG / SITE AREA 31,290 SF = 7.69%	
BUILDING HEIGHT: MAX ALLOWED = 40' PROVIDED = 22'-6"	
PERVIOUS (GREEN SPACE) AREAS: PRE = 13,109 SF / 0.30 AC POST = 8,675 SF / 0.20 AC REQUIRED = 3,134 SF / 0.07 AC PROVIDED = 8,675 SF / 0.20 AC	
IMPERVIOUS SURFACE RATIO PRE = 22,026 SF / 0.51 AC PAVEMENT/SIDEWALKS = 24,054 SF BUILDING = 2,406 SF POST TOTAL = 26,460 SF TOTAL DISTURBED AREA = 35,135 SF IMPERVIOUS SURFACE RATIO = 26,460 SF / 35,135 SF = 75.31%	
PARKING 1 SPACE PER 100 SF OF GROSS FLOOR AREA, PLUS KITCHEN (ADA REQUIRED SPACES = 2) BUILDING AREA = 2,406 SF PARKING REQUIRED = 24 SPACES TOTAL PARKING PROVIDED PANDA EXPRESS = 25 SPACES TOTAL ADA SPACES PROVIDED = 2 TOTAL SPACES PROVIDED = 27	
FLOOD HAZARD: F.I.R.M. MAP NO. 51010301390, DATED DEC. 9, 2014	
BM #2 TYPE: FIP 5/8" Rebar NORTHING: 3537921.64 EASTING: 12082734.63 ELEVATION: 15.95	BM #1 TYPE: CP MAG NORTHINGS: 3537960.86 EASTING: 12082580.68 ELEVATION: 18.42



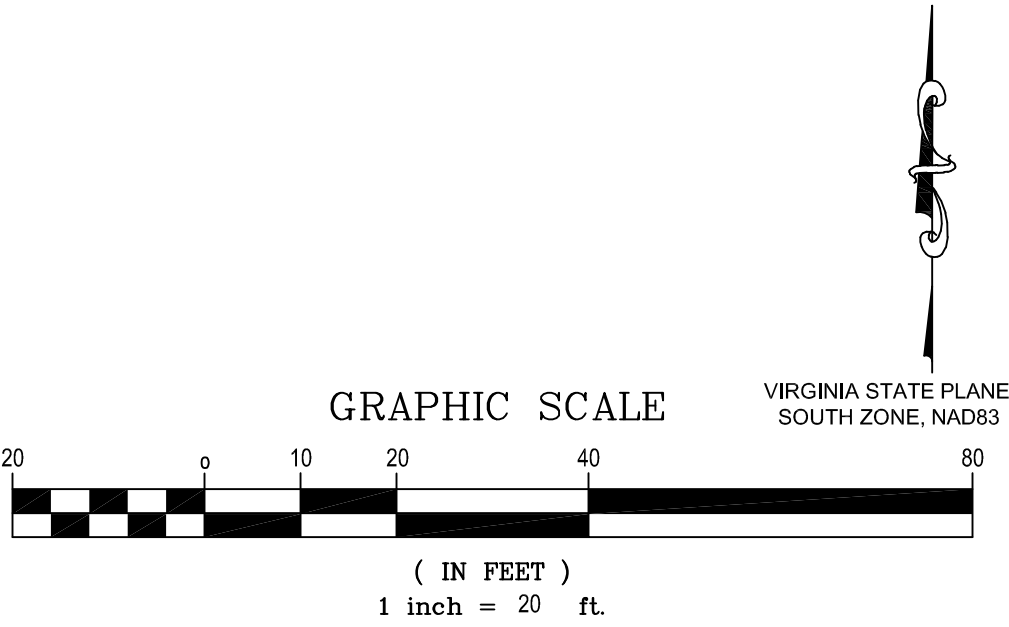
OVERALL SITE PLAN
NOT TO SCALE



REGIONAL MAP
NOT TO SCALE



LOCATION MAP
SCALE: 1"=1000'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

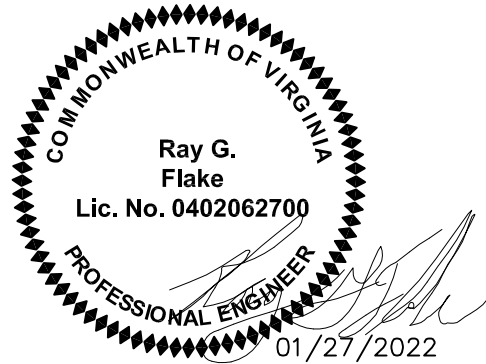
REVISIONS:

ISSUE DATE:

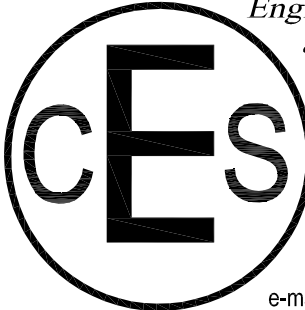
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164
PANDA STORE #: D-8164
ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

COVER SHEET

C01.0

TRUE WARM & WELCOME 2300 R2

PROJECT CONTACTS

DEVELOPER:
PANDA EXPRESS
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
PHONE- (626) 799-9898
FAX- (626) 372-8288
SURVEYOR
BLEW & ASSOCIATES, PA
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
PH: (479) 443-4506
FAX: (479) 582-1883
GAS COMPANY
VIRGINIA NATURAL GAS, INC.
746 DILIGENCE DR
NEWPORT NEWS, VA 23606
(757) 599-8304

WATER DEPARTMENT/AGENCY
FRANK BROWN
700 TOWN CENTER DRIVE
NEWPORT NEWS, VA 23606
(757) 933-2311
fbrown@nnva.gov

COMMUNICATIONS
VERIZON PHONE SERVICE
52 RICHNECK RD.
NEWPORT NEWS, VA 23608
DONALD MASON
ENGINEERING SUPERVISOR
(757) 621-5370

COX BUSINESS (CABLE):
AUN SAING
(844) 270-7216

LANDSCAPING
SHARON BAUM
DEPARTMENT OF PLANNING
(757) 926-8084
BUILDING DEPARTMENT
JOHN CARD - PLANS EXAMINER
2400 WASHINGTON AVE
NEWPORT NEWS, VA 23606
(757) 926-8895

OWNER:
SUSAN ELIZABETH WILLIAMS
2403 REYNOLDS DRIVE
WINSTON SALEM, NC 27104

DEPARTMENT OF TRANSPORTATION
DAVID WILKINSON
2400 WASHINGTON AVE
NEWPORT NEWS, VA 23606
(757) 926-8616

ELECTRIC:
DOMINION VIRGINIA POWER
106 BURNHAM PLACE
NEWPORT NEWS, VA 23606
(757) 933-2311

STORM WATER
MANAGEMENT/EROSION,
SEDIMENTATION, AND POLLUTION
CONTROL
KATHIE ANGLE
2400 WASHINGTON AVE
NEWPORT NEWS, VA 23606
(757) 933-2311
anglekk@nnva.gov

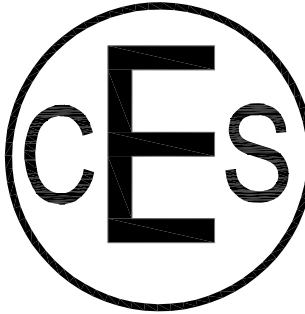
FIRE DEPARTMENT
JEFF SENTER - ASSISTANT CHIEF/ FIRE MARSHALL
NEWPORT NEWS FIRE DEPARTMENT
610 THIMBLE SHOALS BLVD, BUILDING 6
NEWPORT NEWS, VA 23606
DESK - (757) 247-8874
CELL - (757) 876-8553

PLANNING DEVELOPMENT SERVICES:
JANICE HEALY - COORDINATOR
2400 WASHINGTON AVE 2ND FLOOR
NEWPORT NEWS, VA 23606
(757) 926-8693
healyje@nnva.gov

ENGINEERING DEPARTMENT:
CRAIG M GALANT
2400 WASHINGTON AVE 3RD FLOOR
NEWPORT NEWS, VA 23607
(757) 933-2311

ZONING & SIGNAGE
NYOKA HALL - ZONING ADMINISTRATOR, CODES COMPLIANCE
2400 WASHINGTON AVE
NEWPORT NEWS, VA 23606
(757) 926-8689
hallnc@nnva.gov

SANITARY SEWER DEPARTMENT/AGENCY :
BUD CURTIS - SUPERVISING ENGINEER
2400 WASHINGTON AVE
NEWPORT NEWS, VA 23606
(757) 926-3530
curtislw@nnva.gov



Civil Engineering Services

7705 Spicer Farm Lane phone: (615) 533-0401
Fairview, Tennessee fax: (615) 523-8865
37062 e-mail: ray@civilengineeringservices.net

Engineering, Land Planning, and Environmental

GENERAL NOTES

THIS SITE HAS BEEN DESIGNED TO MEET CITY OF NEWPORT NEWS, VIRGINIA STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION

THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.

BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY OTHERS. CIVIL ENGINEERING SERVICES AND THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE THIS INFORMATION SHOWN.

PROJECT NARRATIVE

TO DEMOLISH EXISTING GAS STATION, CANOPY, AND PARKING AREAS, THEN CONSTRUCT A NEW DRIVE THRU RESTAURANT AND PARKING LOT.

RESPONSIBLE LAND DISTURBER:
NOAH ALLEN
10906 JENNY CREEK DRIVE
NORTH PRINCE GEORGE, VA 23860
(804) 479-9947
sand.contracting.va@gmail.com
RLD NUMBER (RLD07712)
** FOR PERMIT PURPOSE ONLY**

PANDA EXPRESS PM
BILLY NEWTON
832-683-9885
Billy.Newton@pandaRG.com

PANDA EXPRESS DM
TODD FLEMING
626-476-4621
Todd.Fleming@PandaRG.com



UTILITY NOTES

- ALL SEWER, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY DISCONNECTIONS TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FILLED MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION HAS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- BEFORE INSTALLATION OF WATER LINES, STORM SEWERS OR SANITARY SEWERS, THE CONTRACTOR SHOW EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LOCAL SERVICE PROVIDER SEWER SPECIFICATIONS AND DETAILS (LATEST REVISIONS).
- ALL SEWER SERVICE LINES, SHALL BE TESTED BY THE CONTRACTOR. THE TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE LOCAL SERVICE PROVIDER REPRESENTATIVE.
- THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICES INSPECTION FEES.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE, ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES OR STORM SEWERS.
- WATER SERVICE PIPE SHALL BE POLYETHYLENE (PE), DR9. LOCATION AND SIZE OF WATER SERVICE SHALL BE SHOWN ON THE UTILITY PLAN. IN COORDINATION WITH REPRESENTATIVES OF THE LOCAL WATER AUTHORITY.
- SEWER SERVICE SHALL BE 6" DIAMETER NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKETS. INSTALL IN THE LOCATIONS SHOWN HERE ON.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATIONS OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
- THE DEVELOPER IS TO SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE CONTRACTOR, THE DEVELOPERS ENGINEER, THE CITIES REPRESENTATIVE AND THE CITIES ENGINEER.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- REMOVE ALL FOUNDATIONS, UNDERGROUND TANKS, PAVING, BASE ETC. IF REMAINING, BEFORE BEGINNING CONSTRUCTION.
- FILL ALL PLANTERS/ISLANDS TO TOP OF CONCRETE CURB WITH TOPSOIL. TOPSOIL TO BE CLEAN AND FREE OF DEBRIS, ETC.
- THESE PLANS, PREPARED BY CIVIL ENGINEERING SERVICES, DID NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE CIVIL ENGINEERING SERVICES REGISTERED PROFESSIONAL ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
- ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
- FOR WATER SERVICE ALL CORPORATION STOPS SHALL CONFORM TO LOCAL SERVICE PROVIDER SPECS.
- FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
- SERVICE SADDLES AND ANCHORS SHALL CONFORM TO ALL SERVICE PROVIDER SPECIFICATIONS.
- ALL SEWER SERVICE FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
- BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL CONFORM TO THE GEOTECHNICAL REPORT RECOMMENDATIONS OR LOCAL SERVICE PROVIDER RECOMMENDATION WHICH EVER IS MORE STRICT.
- ALL UTILITY SERVICES IN EXISTING ROADS SHALL BE INSTALLED BY BORING. ALL TRENCHES IN EXISTING PARKING LOTS SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER CITY REQUIREMENTS.

UTILITY NOTES CONTINUED

- REINFORCED CONCRETE PIPE (RCP); O-RING SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATIONS FOR JOINTS FOR RCP USING RUBBER GASKETS.
- ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
- HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 25 (3"-10"), M 294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE - SMOOTH INSIDE, 4" - 60"), AND MP 7 (60" TYPE S).
- BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F 477.
- PVC STORM SEWER PIPE (12" OF LESS) AND FITTINGS SHALL BE NON-PRESSURE PVC CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
- REPAIR ALL DAMAGE TO EXISTING FEATURES(I.E. DRIVES, ROADS, YARDS, LANDSCAPING, ETC.) TO PRECONSTRUCTION CONDITION.
- COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS PROVIDED BY OTHERS.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA.
- SOME UTILITIES CAN BE LOCATED BY CALLING THE VIRGINIA ONE CALL. THE CONTRACTOR SHALL CALL "811", PRIOR TO PROCEEDING WITH ANY EXCAVATION.
- REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
- THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATION'S AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTORS OPERATIONS.
- FIRE HYDRANT ASSEMBLIES (IF REQUIRED ON THESE PLANS) INCLUDE THE APPROPRIATE SIZED TEE (WITH KICKER), 6" LINE TO HYDRANT, 6" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANT SHALL BE INSTALLED AT LOCATION SHOWN ON THE PLANS.
- BACKFLOW PREVENTION DEVICE FOR THE DOMESTIC WATER SERVICE SHALL BE LOCATED INSIDE THE BUILDING UNLESS OTHERWISE SPECIFIED IN THESE PLANS. COORDINATE WITH LOCAL SERVICE PROVIDER.
- MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT UTILITY CROSSING.

GRADING & DRAINAGE NOTES

- SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
- SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%
- MAXIMUM CUT OF FILL SLOPES IS 2H:1V.
- THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
- ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 6-INCH) AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO AT LEAST 100 PERCENT. COMPACTION MUST BE CERTIFIED BY A VIRGINIA REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
- DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- LENGTH OF RIP-RAP PADS AT PIPE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
- JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.

EROSION CONTROL NOTES

- SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE SHALL BE PLACED AS INDICATED ON THE PLAN PRIOR TO ANY GRADING WORK.
- DUST CONTROL ON SITE SHALL BE KEPT WITHIN ACCEPTABLE LIMITS BY SPRINKLING WITH WATER OR OTHER ACCEPTABLE METHODS.
- MAXIMUM SLOPES SHALL NOT EXCEED 3:1. CUT AND FILL SLOPES 3:1 SHALL BE STABILIZED BY EROSION CONTROL FABRIC, HYDROSEEDING, SOD, OR OTHER ACCEPTABLE METHODS.
- ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTORS RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE LOCATIONS OF EROSION CONTROL DEVICES SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
- ANY FAILURE OF ANY EROSION CONTROL DEVICE TO FUNCTION AS INTENDED FOR ANY REASON SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED PERIODS OF CONTINUOUS RAINFALL.
- EROSION CONTROL DEVICES SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
- EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND THEN REMOVED SO THAT DRAINAGE OF THE SITE IS NOT IMPEDED.
- ANY CUT OR FILL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITHIN 7 DAYS OF COMPLETING WORK ON THE SLOPES.
- CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% OBSTRUCTED BY SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
- TOPSOIL SHALL BE RE-SPREAD A MINIMUM DEPTH OF 6" OVER ALL DISTURBED AREAS.
- AREAS THAT HAVE BEEN STRIPPED, CUT SLOPES, FILL SLOPES OR AREAS OTHER WISE DISTURBED SHALL HAVE PERMANENT STABILIZATION APPLIED (GRASS, SOD, ETC.). PERMANENT STABILIZATION SHALL BE PLACED PRIOR TO ACCEPTANCE OF FINAL GRADING.
- REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES PRIOR TO ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
- EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE. IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTER MATERIAL.
- WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT SHOWN ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
- THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE PROVIDER.
- THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR IN THE STATE OF THE PROJECT SITE)
- REMOVE AND DISCARD ALL EXISTING ASPHALT PAVEMENT AND BASE MATERIAL AT LEAST 6" BELOW ASPHALT WITHIN THE LIMITS SHOWN. EXISTING SUBBASE MATERIAL MAY BE REUSED PROVIDED IT IS STABILIZED AND COMPACTED PER THE TYPICAL PAVEMENT DETAIL.
- PRIOR TO COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL OBTAIN ANY DEMOLITION PERMITS REQUIRED.

GENERAL NOTES

- THE CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSISTS OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ALL JURISDICTIONAL BODIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- EXISTING A. C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EDGE COATED WITH TAR AS REQUIRED BY THE CITY STREETS DEPARTMENT.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #5 AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH PREPARATIONS
- ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE PER THE STANDARD PROCTOER METHOD (ASTM D 698) - SEE GEOTECHNICAL REPORT
- IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
- ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF-SITE EASEMENTS ARE TO BE TAKEN FROM THE FINAL PLAT PREPARED BY THE SURVEYOR.
- OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR OR OWNER.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

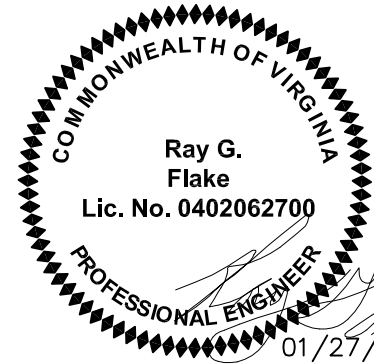
DRAWN BY:

LEB

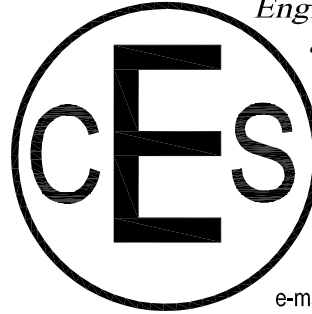
PANDA PROJECT #: S8-21-D8164

PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilingineeringservices.net

PANDA EXPRESS

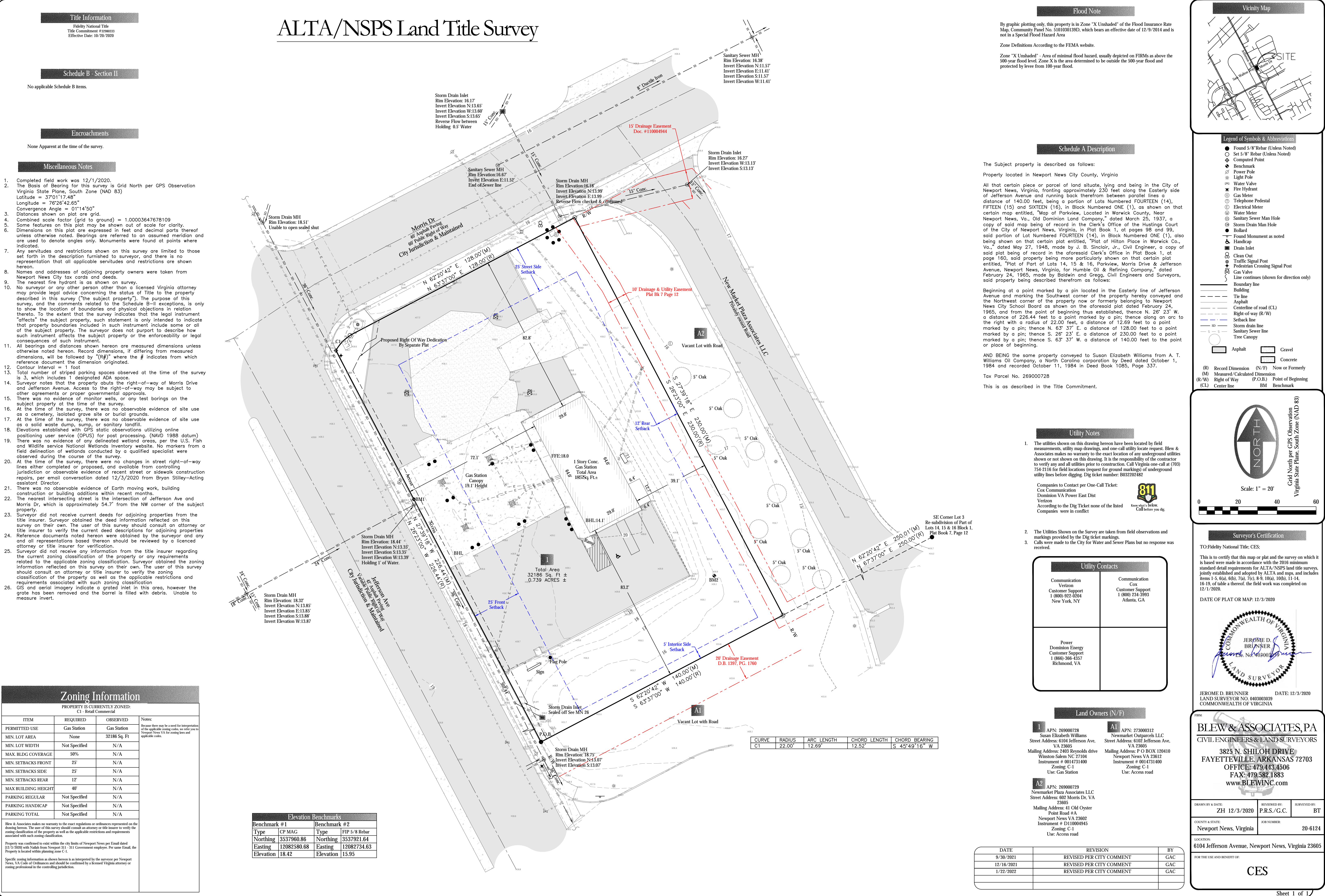
TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

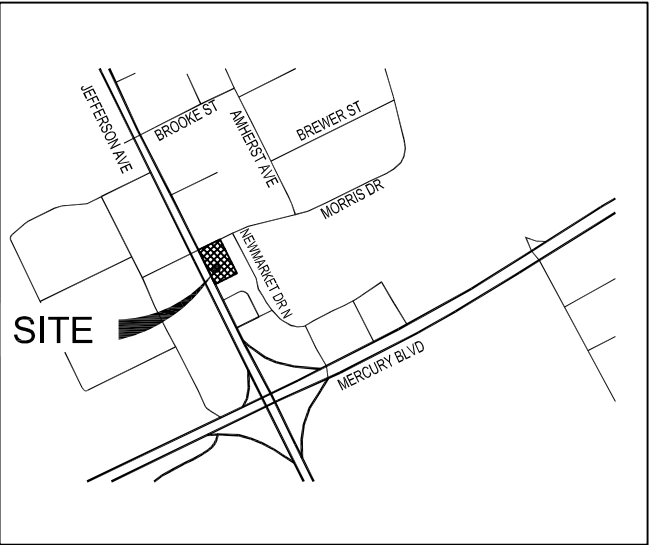
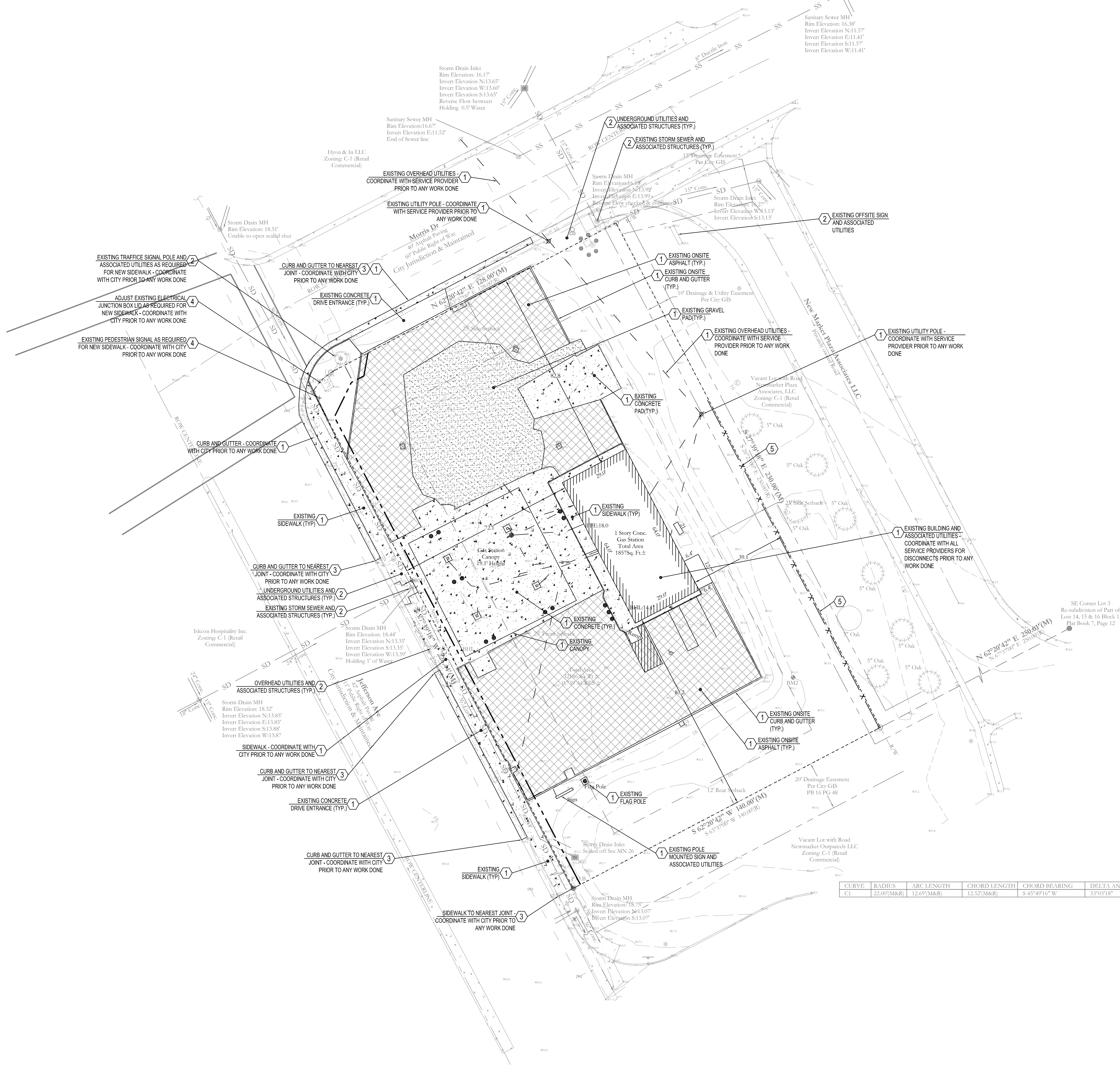
GENERAL NOTES

C01.1

TRUE WARM & WELCOME 2300 R2

XX-XX-XX





LOCATION MAP

SCALE: 1"=1000'

DEMO NOTES

SEE DEMOLITION NOTES ON SHEET C01.1

DEMO LEGEND

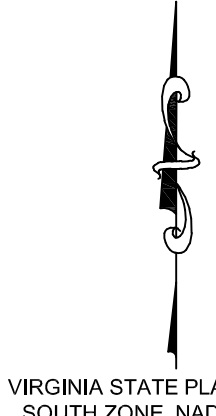
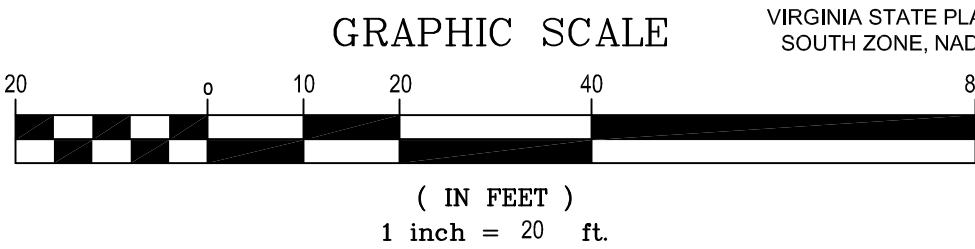
- EXISTING ASPHALT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED

X TREE PROTECTION FENCING - SEE DETAIL ON SHEET (L01.0)

DEMOLITION KEYNOTES

- REMOVE EXISTING STRUCTURE
- PROTECT EXISTING STRUCTURE
- SAWCUT ASPHALT / CONCRETE
- RELOCATE EXISTING STRUCTURE
- TREE PROTECTION FENCING - SEE DETAIL ON SHEET (L01.0)

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	22.00'(M&R)	12.69'(M&R)	12.52'(M&R)	S 45°49'16" W	33°03'18"



BM #2
TYPE: FIP 5/8" Rebar
NORTHING: 3537921.64
EASTING: 12082734.63
ELEVATION: 15.95

BM #1
TYPE: CP MAG
NORTHING: 3537960.86
EASTING: 12082580.68
ELEVATION: 18.42

FLOOD ZONE
By graphic plotting only, this property is in Zone "X Unshaded", "X Shaded" & "AE" of the Flood Insurance Rate Map, Community Panel No. 5101030139D, which bears an effective date of 12/09/2014 and is in a Special Flood Hazard Area, Zone "X-Unshaded" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levees from 100-year flood.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164

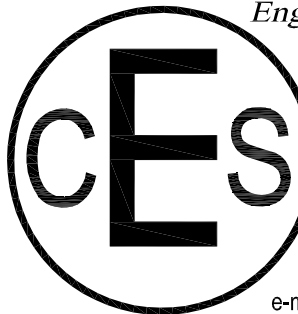
PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services

Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

DEMOLITION PLAN

C02.0

TRUE WARM & WELCOME 2300 R2

PANDA EXPRESS STANDARD NOTES

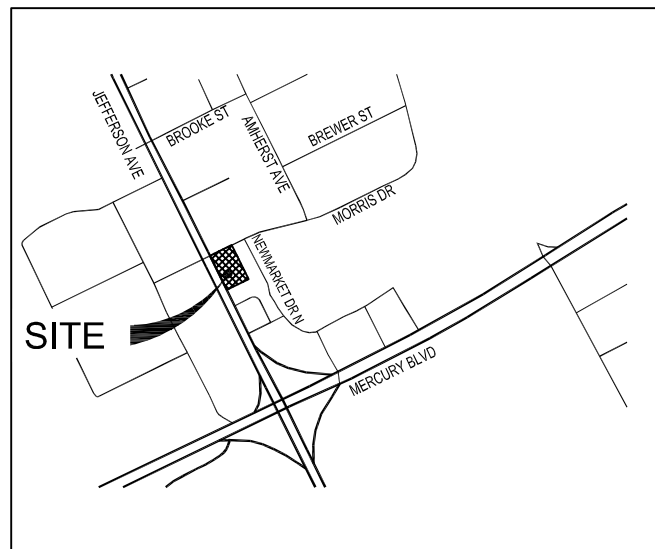
1. THE GEOTECHNICAL INVESTIGATION REPORT AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

PROPOSED SITE LEGEND

- (8) PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY CONCRETE PAVING - SEE DETAIL #8 ON SHEET (C03.1)
- HEAVY DUTY CONCRETE PAVING - SEE DETAIL #8 ON SHEET (C03.2)
- CONCRETE SIDEWALK - SEE DETAIL #14 ON SHEET (C03.2)
- CONCRETE PAVING AT DUMPSTER ENCLOSURE, DRIVE THRU, AND PARKING ALONG BUILDING PER GEOTECHNICAL REPORT
- HANDICAP PARKING
- DIRECTIONAL ARROWS
- PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL #5 ON SHEET (C03.1)
- LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL #9 ON SHEET (C03.1)

GENERAL NOTES

SEE NOTES ON SHEET C01.1



LOCATION MAP

SCALE: 1"=1000'

SITE KEY NOTES:

PAVEMENT AND CURBING

- 1 PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL #5 ON SHEET (C03.1)
- 2 PROVIDE CONCRETE SIDEWALKS PER DETAIL #17 ON SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL #16 ON SHEET (C03.2)
- 3 HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL #2 ON SHEET (C03.1) & GEO-TECH REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- 4 NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE PAVEMENT SECTION DETAIL #9 AND #2 ON SHEET (C03.1)
- 5 CONCRETE PAVING AT PARKING - SEE DETAIL #2 ON SHEET (C03.1) & GEO-TECH REPORT
- 6 LIGHT DUTY CONCRETE PAVING - SEE DETAIL #2 ON SHEET (C03.2) & GEO-TECH REPORT
- 7 HEAVY DUTY CONCRETE PAVING - SEE DETAIL #2 ON SHEET (C03.2) & GEO-TECH REPORT
- 8 SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. AND ALL SIDE WALKS.
- 9 EXPANSION JOINT - SEE SOILS REPORT FOR SPACING - SEE DETAIL #4 ON SHEET (C03.1)
- 10 CONTROL JOINTS - SEE SOILS REPORT FOR SPACING - SEE DETAIL #3 ON SHEET (C03.1)

PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE

- 15 ADA ACCESSIBLE RAMP AT HANDICAP PARKING STALLS - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL #1 ON SHEET (C03.1)
- 16 ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL #1 ON SHEET (C03.1)
- 17 HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAILS #1, #6 & #8 ON SHEET (C03.1)
- 18 ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PROJ'S PROJECT MANAGER.
- 19 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. PER MUTCD SPECS.
- 20 4" WIDE PARKING STRIPE PAINT PER PAVEMENT MARKING NOTE #1 - SHEET C01.2
- 21 TRAFFIC ARROW PAINTED WHITE - SEE DETAIL #11 ON SHEET (C03.1)
- 22 STOP BAR PAINTED WHITE PER MUTCD SPECS.
- 23 "STOP" SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS
- 24 DO NOT ENTER SIGN PER MUTCD / LOCAL SPECS.

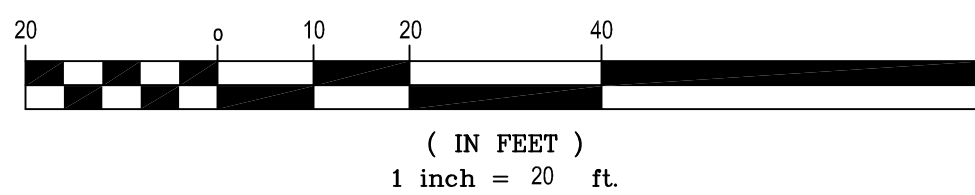
PANDA EXPRESS SITE FEATURES

- 30 DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- 31 NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- 32 ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- 33 DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- 34 CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE: ELECTRICAL DRAWING FOR REQUIREMENTS. G.C. TO COORDINATE LOCATION WITH PRG'S F.M.
- 35 WHEEL STOP - ONE TECHNOLOGIES "PARK-IT" 6" PARKING CURB #16201R (BLACK AND YELLOW) OR OWNER APPROVED EQUAL.
- 36 TRASH ENCLOSURE. CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP: 6 YARD BIN) - SEE ARCH DETAIL SHEET
- 37 LOCATION OF POLE MOUNTED SIGN (SEE SIGN DESIGN BY OTHERS)
- 38 LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE DETAIL #10 ON SHEET (C03.1)
- 39 TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE DETAIL #21 ON SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE FLATWORK AT FACE OF CURB- SEE PLUMBING PLANS FOR LOCATION
- 40 APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
- 41 EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)

ADDITIONAL SITE FEATURES

- 50 MATCH EXISTING GRADE
- 51 EXISTING FIRE HYDRANT
- 52 SIDEWALK PER CITY SPECS - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #12 ON SHEET (C03.1)
- 53 ADA ACCESSIBLE RAMP PER CITY SPECS - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #20 ON SHEET (C03.2)
- 54 HIGH TRAFFIC VOLUME COMMERCIAL ENTRANCE (HRPDC C1_06) - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #13 ON SHEET (C03.1)
- 55 STANDARD COMMERCIAL ENTRANCE (HRPDC C1_05) - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #14 ON SHEET (C03.2)
- 56 30" CURB AND GUTTER - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #15 ON SHEET (C03.2)
- 57 PROVIDE CONCRETE RETAINING WALL WITH TRAFFIC RATED GUARD RAIL - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #21 ON SHEET (C03.2) FOR REFERENCE ONLY
- 58 TWO FOOT NO PLANTING ZONE FROM BACK OF CURB, CLEAR OF TREES OR SHRUBS FOR VEHICLE OVERHANG, GRASS ONLY
- 59 DRIVE THRU VEHICLE WAITING AREA
- 60 PROVIDE PEDESTRIAN POLE AND PUSH BUTTONS PER CITY SPECS. - COORDINATE WITH CITY PRIOR TO ANY WORK DONE
- 61 ADA DETECTABLE WARNING PER CITY SPECS. - COORDINATE WITH CITY PRIOR TO ANY WORK DONE
- 62 PROVIDE SEGMENTAL RETAINING WALL - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL #7 ON SHEET (C03.1) FOR REFERENCE ONLY

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

VIRGINIA STATE PLANE, SOUTH ZONE, NAD83

FLOOD ZONE

By graphic plotting only, this property is in Zone "X Unshaded", "X Shaded" & "AE" of the Flood Insurance Rate Map, Community Panel No. 5101030139D, which bears an effective date of 12/09/2014 and is in a Special Flood Hazard Area, Zone "X-Unshaded" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levees from 100-year flood.

BM #2
TYPE: FIP 5/8" Rebar
NORTHING: 3537921.64
EASTING: 12082734.63
ELEVATION: 15.95

BM #1
TYPE: CP MAG
NORTHING: 3537960.86
EASTING: 12082580.68
ELEVATION: 18.42

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

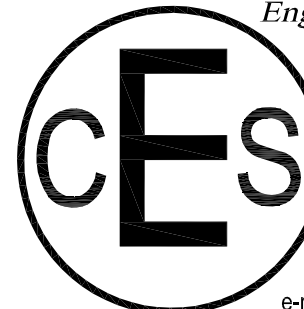
PANDA PROJECT #: S8-21-D8164

PANDA STORE #: D-8164

ARCH PROJECT #: XXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringsservices.net

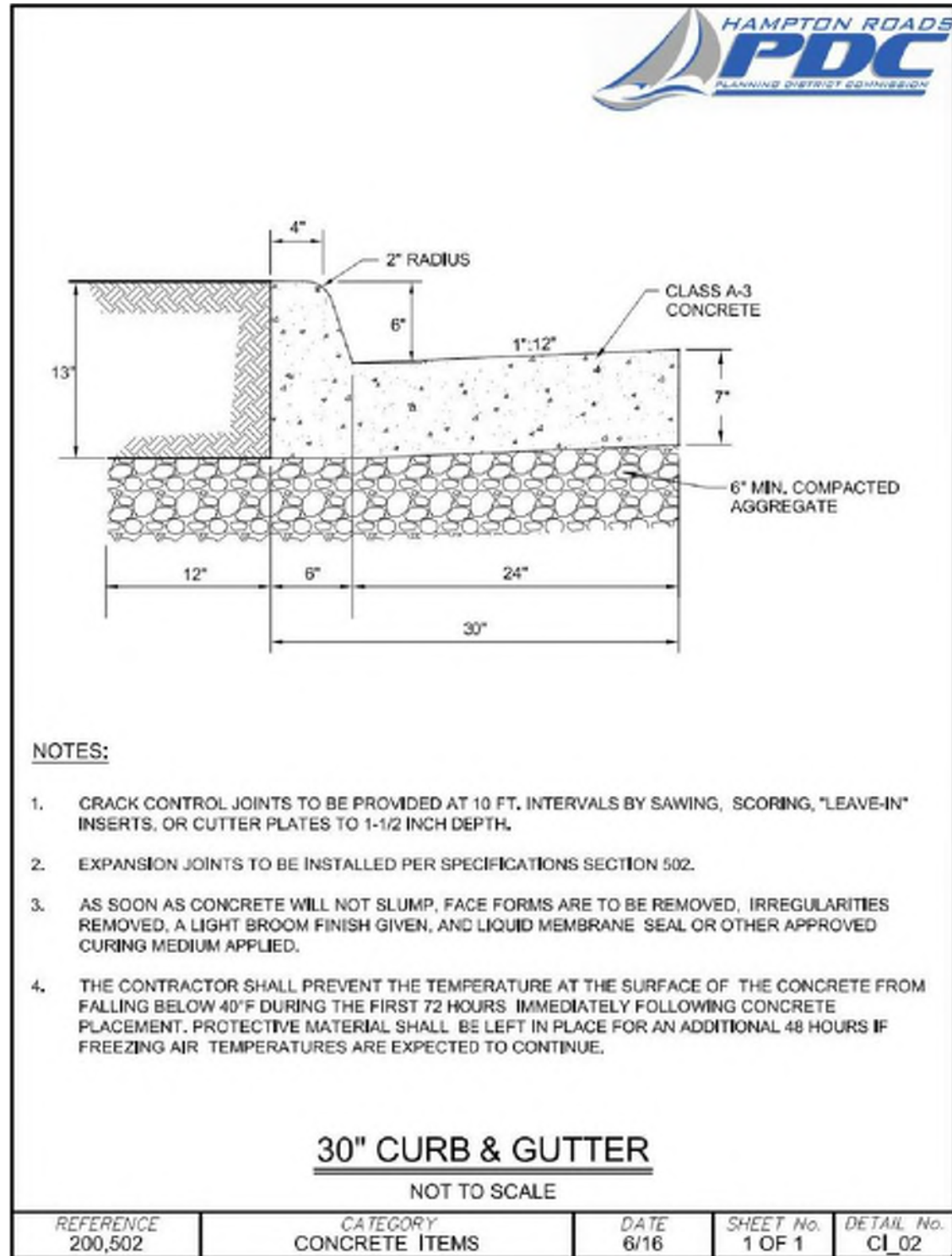
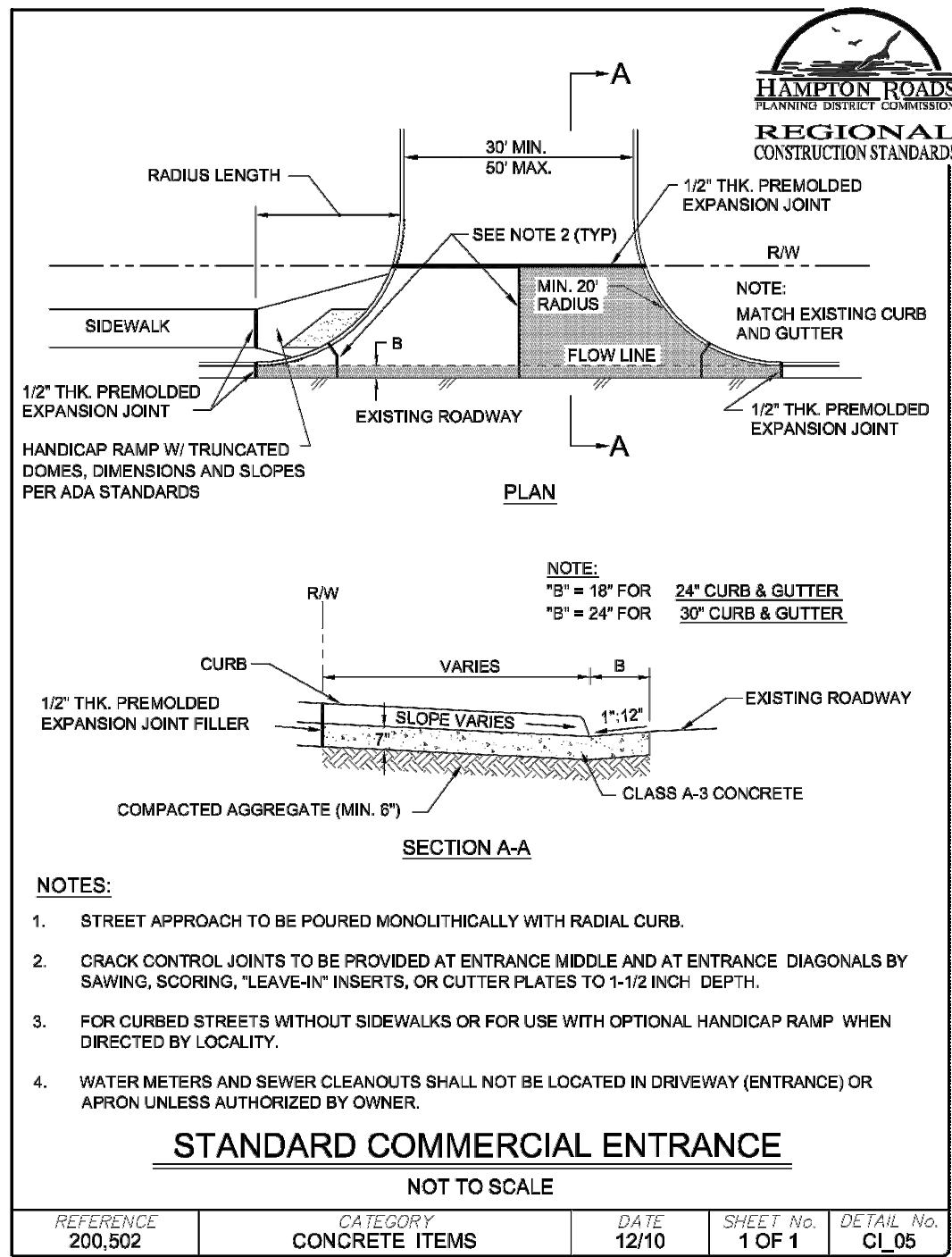
PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

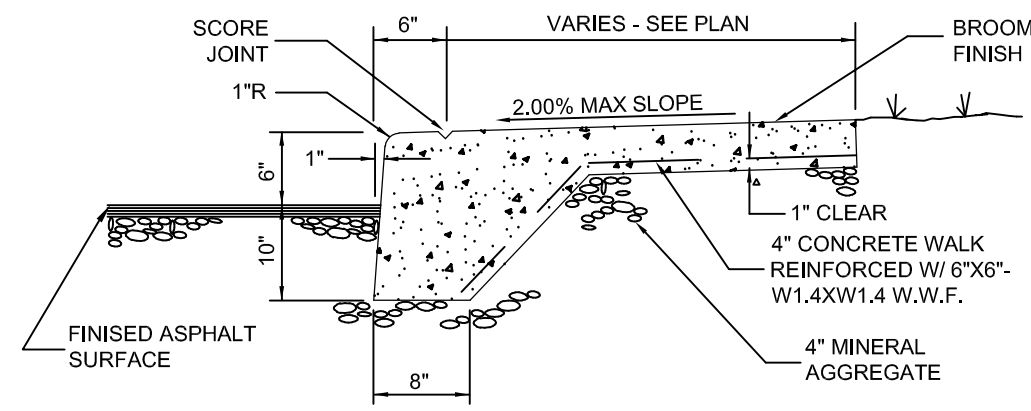
SITE PLAN

C03.0

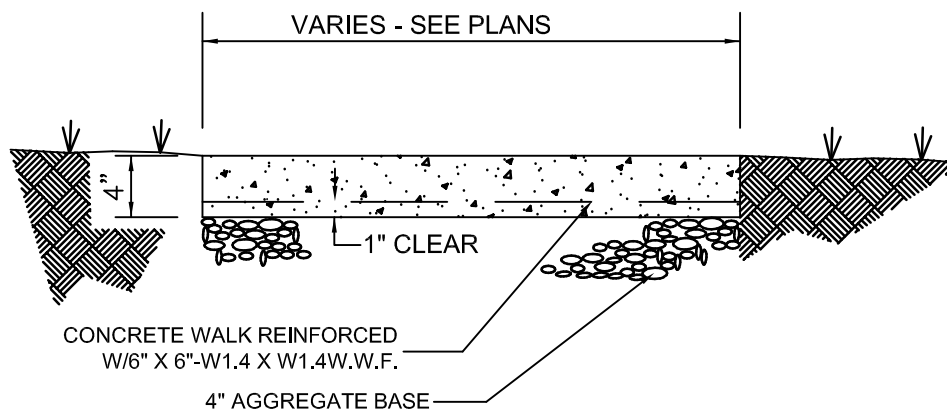
TRUE WARM & WELCOME 2300 R2



16 CONCRETE SIDEWALK WITH HAUNCHED CURB

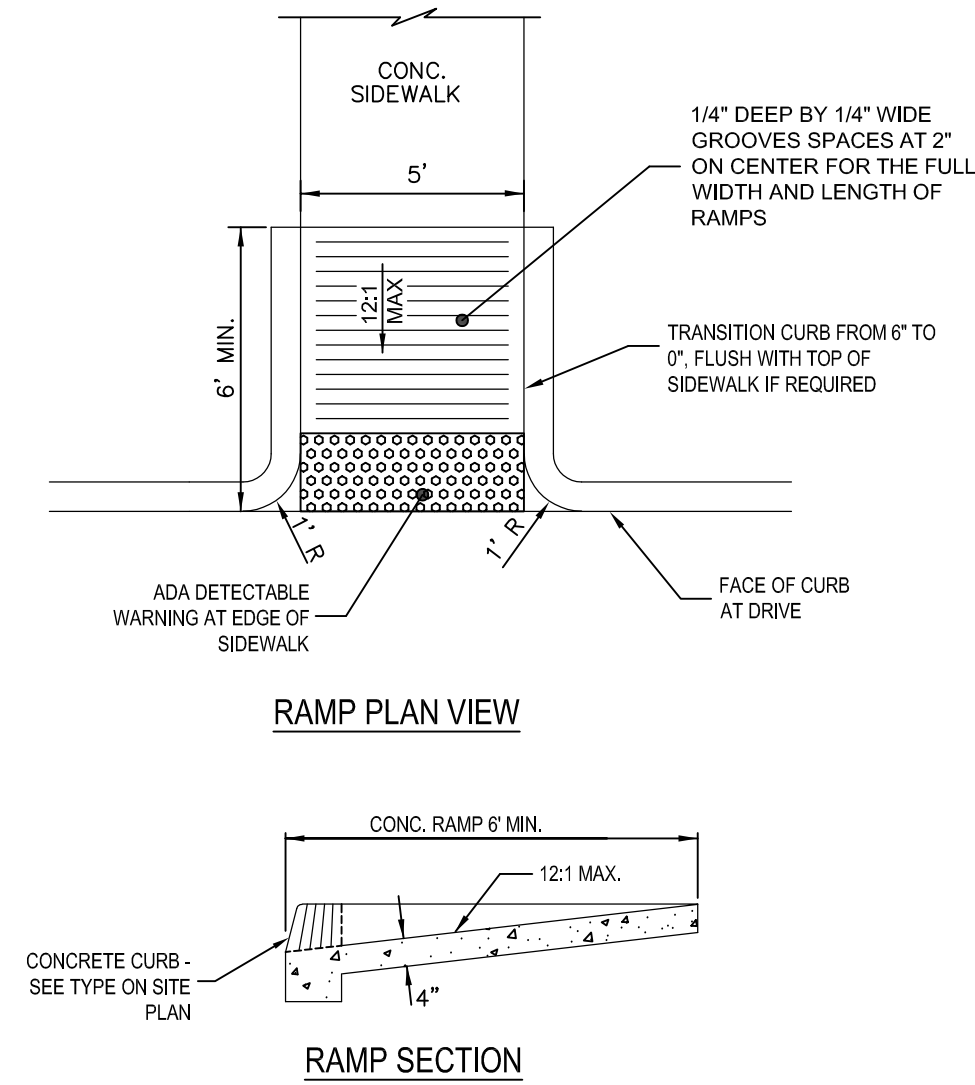


- SPACING NOTES**
1. EXPANSION JOINTS SPACED AT 20' O.C. - SEE DETAIL.
 2. CONTROL JOINTS SPACED AT 5' O.C. - SEE DETAIL.
 3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPENSION JOINT.

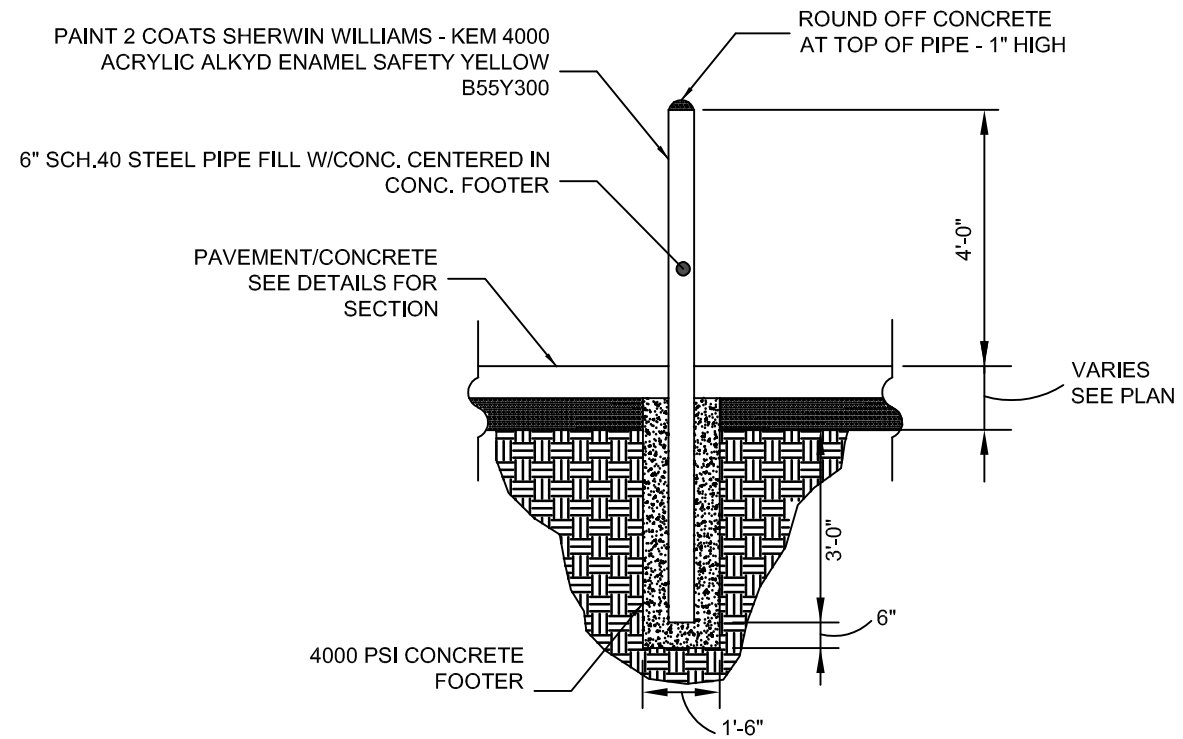


- NOTES:**
1. PROVIDE CONTROL JOINTS PER DETAIL THIS SHEET SPACED EVERY 5 FT. AND EXPANSION JOINTS PER DETAIL THIS SHEET EVERY 20 FT.
 2. SUBGRADE COMPACTED PER SOILS REPORT
 3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPENSION JOINT.

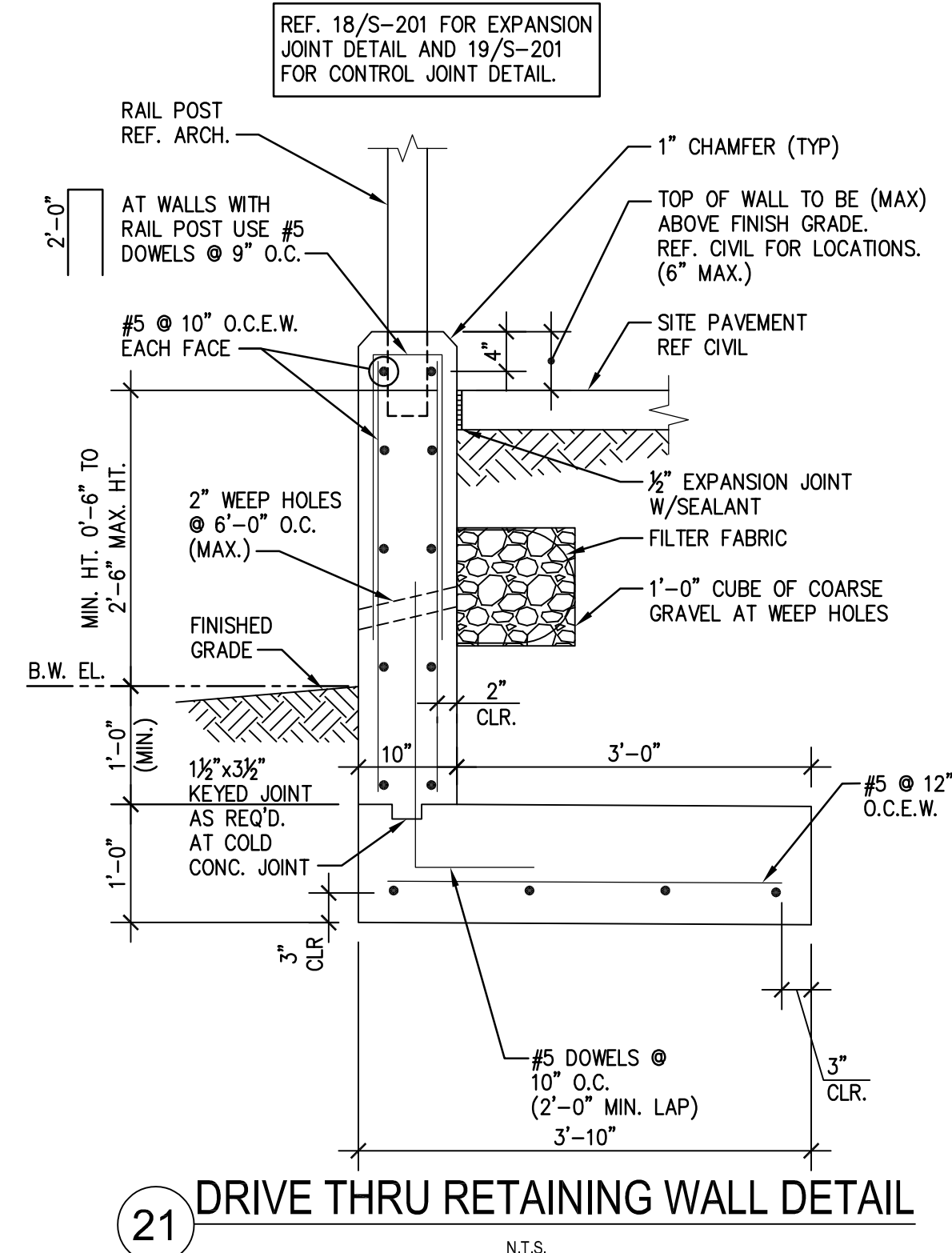
17 CONCRETE SIDEWALK



18 ADA ACCESSIBLE RAMP



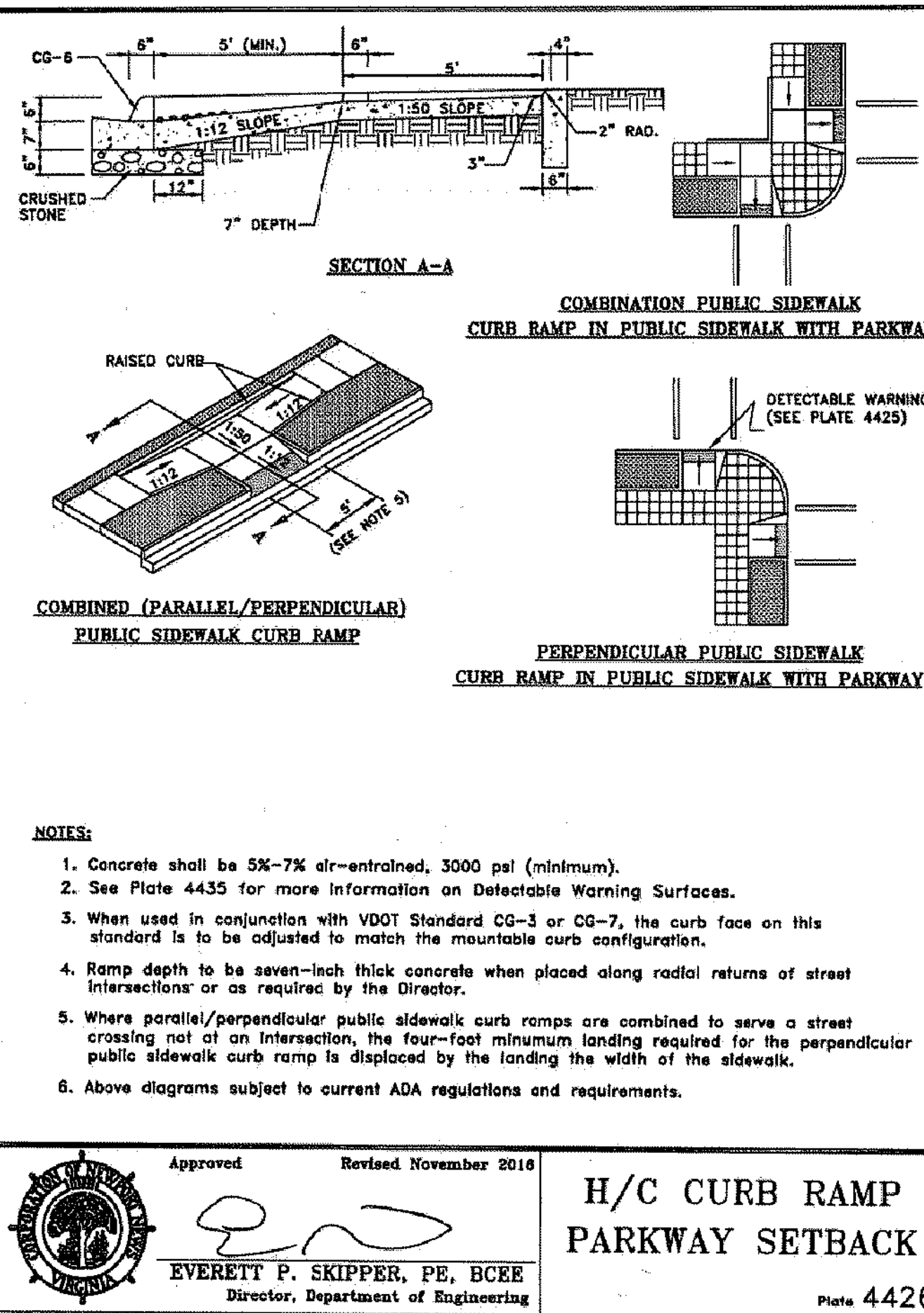
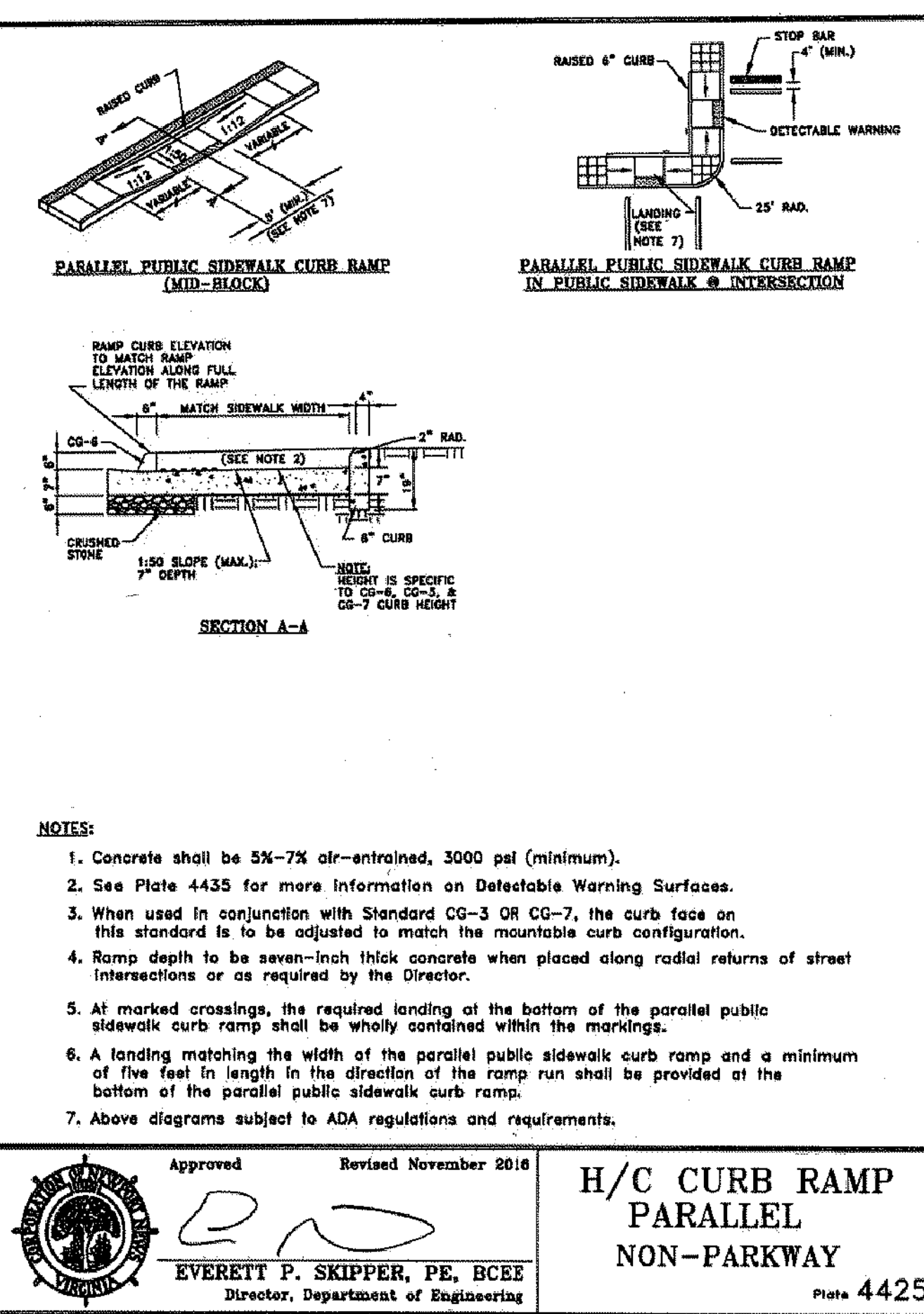
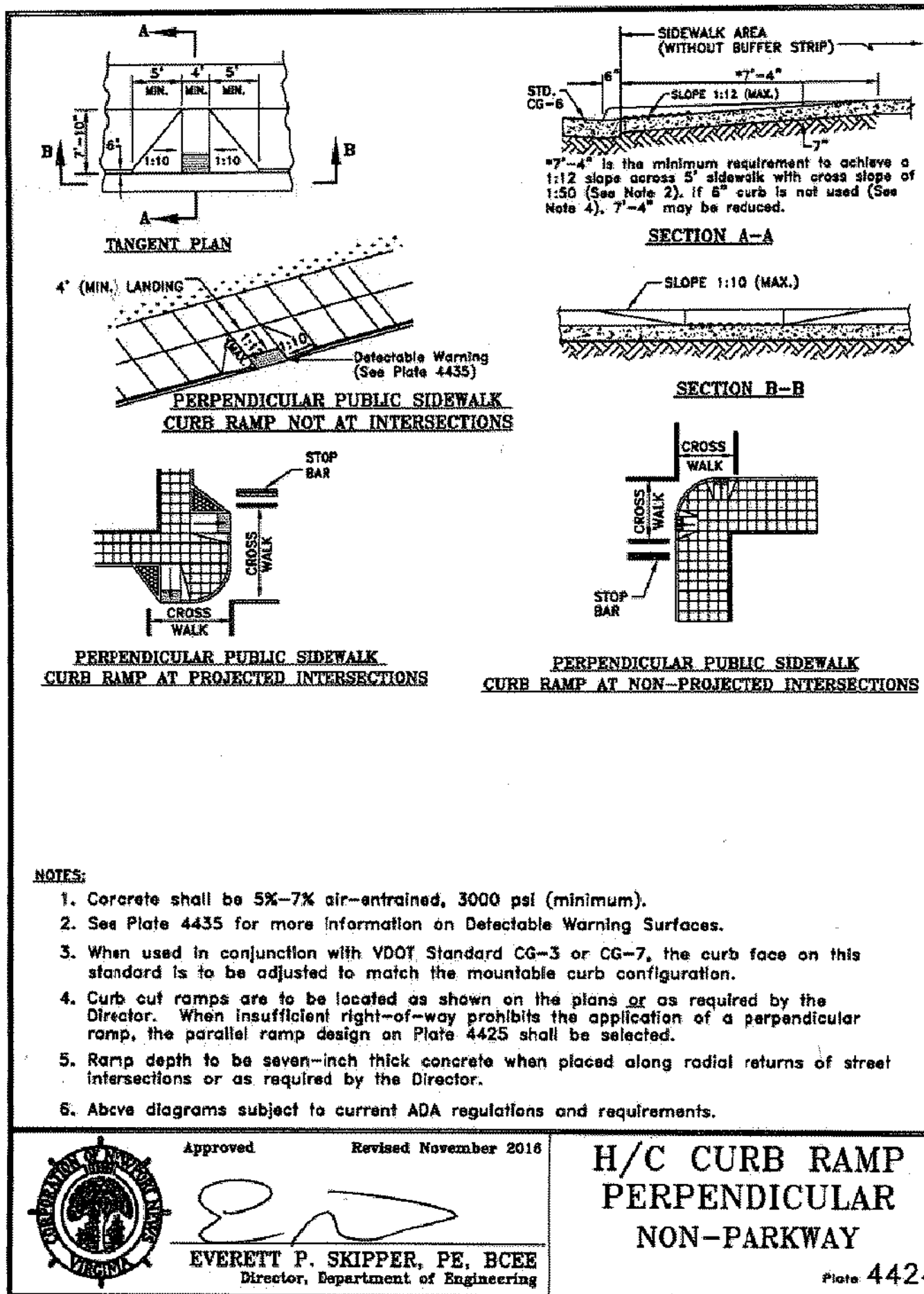
19 BOLLARD DETAIL



21 DRIVE THRU RETAINING WALL DETAIL

14

15



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

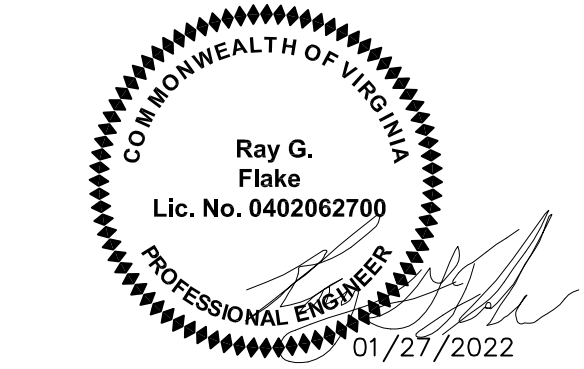
REVISIONS:

ISSUE DATE:

1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164
PANDA STORE #: D-8164
ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental
7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401
e-mail: ray@civilengineeringservices.net

PANDA EXPRESS
TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

**HARDSCAPE
DETAILS II
C03.2**

TRUE WARM & WELCOME 2300 R2



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

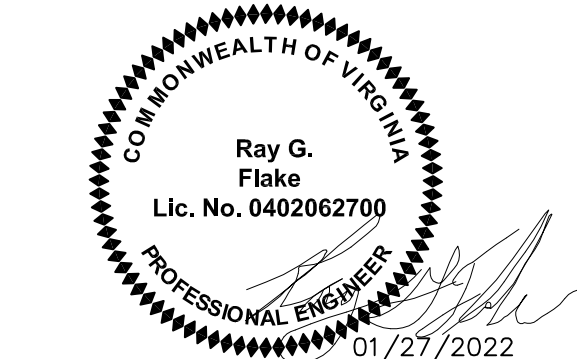
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

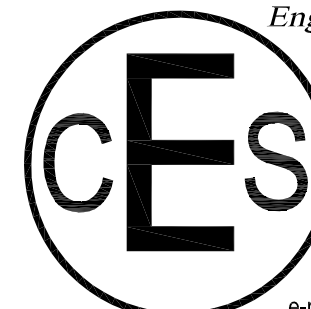
PANDA PROJECT #: S8-21-D8164

PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

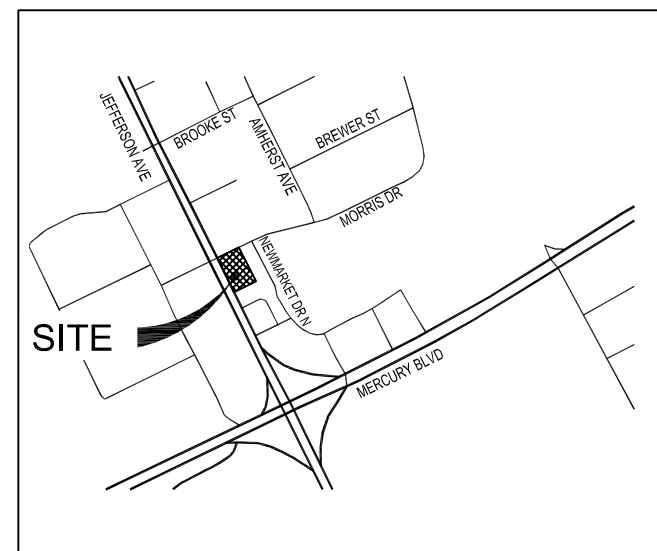
PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

UTILITY PLAN

C04.0

TRUE WARM & WELCOME 2300 R2



LOCATION MAP

SCALE: 1"=1000'

GENERAL NOTES

SEE UTILITY NOTES ON SHEET C01.1

PROPOSED UTILITY BLOCK NOTES

SANITARY SEWER SERVICE:

- 1 TIE TO EXISTING SANITARY SEWER MANHOLE PER LOCAL SERVICE PROVIDER SPECS. - FIELD VERIFY PRIOR TO ANY WORK DONE - THE DISTRICT OPERATOR WILL INSTALL THE PROPOSED MANHOLE ON THE EXISTING LINE
- 2 INSTALL SANITARY SEWER LATERAL CLEANOUT - SEE THIS SHEET FOR INVERT - SEE DETAIL #2 ON SHEET (C04.1)
- 3 INSTALL SDR 26 PVC SEWER LINE PER LOCAL SERVICE PROVIDER SPECS. - SEE SLOPE AND LENGTH THIS SHEET - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE DETAIL #6 ON SHEET (C04.1)
- 4 INSTALL GREASE TRAP WITH TRAFFIC RATED MANHOLE COVERS AND FRAMES - SEE PLUMBING PLANS FOR SIZE - RIMS TO MATCH PROPOSED GRADES
- 5 SANITARY SEWER SERVICE ENTRY FROM BUILDING - SEE ELEVATION THIS SHEET - SEE PLUMBING PLANS FOR CONTINUATION AND POINT OF ENTRY
- 6 PROVIDE 6"x6" SANITARY SEWER WYE WITH 4"x6" REDUCER PER SERVICE PROVIDER SPECS. - SEE THIS SHEET FOR INVERTS
- 7 2" VENT PIPE FROM GREASE TRAP TO BUILDING - SEE M.E.P. PLANS FOR ENTRY AND DETAILS
- 8 INSTALL SANITARY SEWER TWO WAY LATERAL CLEANOUT - SEE THIS SHEET FOR INVERT - SEE DETAIL #1 ON SHEET (C04.1)

WATER SERVICE:

- 13 CONNECT TO EXISTING WATER MAIN WITH 1.5" TAPPING SLEEVE AND VALVE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 14 1" ABOVE GROUND RPPB IN HEATED ENCLOSURE FOR IRRIGATION WATER SERVICE PER LOCAL SERVICE PROVIDER JURISDICTION - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 15 1.5" METER AND ABOVE GROUND RPPB IN HEATED ENCLOSURE FOR DOMESTIC WATER SERVICE PER LOCAL SERVICE PROVIDER JURISDICTION - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 16 STUB OUT 1" SCH 40 PVC LINE FOR IRRIGATION
- 17 PRIVATE DOMESTIC WATER SERVICE LINE - INSTALL 1 1/2" CLASS 200, DR9 HDPE PIPE (POLYPIPE PW-PE3408/PE3608 OR APPROVED EQUAL) - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 18 DOMESTIC WATER SERVICE ENTRY PER CITY SPECS. - SEE ELEVATION THIS SHEET - SEE PLUMBING PLANS
- 19 PROVIDE CONCRETE PAD AT ABOVE GROUND RPZ AND ENCLOSURE - SEE DETAIL #3 ON SHEET C04.1
- 20 TIE TO EXISTING WATER METER FOR IRRIGATION SERVICE PER LOCAL SERVICE PROVIDER SPECS. - CONTRACTOR TO FIELD VERIFY EXISTING METER MEETS DEMANDS AND IS IN GOOD CONDITION PRIOR TO ANY WORK DONE - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE

ELECTRIC SERVICE:

- 22 APPROXIMATE LOCATION FOR CONNECTION TO EXISTING UNDERGROUND ELECTRICAL SERVICE PER LOCAL SERVICE PROVIDER SPECS. - G.C. TO COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 23 PRIMARY UNDERGROUND ELECTRICAL PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 24 PROPOSED PAD TRANSFORMER - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 25 SECONDARY UNDERGROUND ELECTRIC PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE ELECTRICAL PLANS FOR CONDUIT SIZE AND CONNECTION POINT INTO THE BUILDING.
- 26 ELECTRIC SERVICE POINT OF ENTRY INTO BUILDING - SEE ELECTRICAL PLANS FOR CONDUIT SIZE AND CONNECTION POINT INTO THE BUILDING.
- 27 NEW OVERHEAD ELECTRIC PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 28 UTILITY POLE PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE

COMMUNICATIONS SERVICE:

- 29 POINT OF CONNECTION FOR TELEPHONE / COMMUNICATIONS SERVICE PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 30 UNDERGROUND TELEPHONE / COMMUNICATIONS PER LOCAL SERVICE PROVIDER REQUIREMENTS COORDINATE WITH LOCAL SERVICE PROVIDERS PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING.
- 31 UNDERGROUND TELEPHONE / COMMUNICATIONS POINT INTO THE BUILDING - COORDINATE WITH ELECTRIC SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING - PROVIDE BOLLARD SEE PLAN - SEE DETAIL

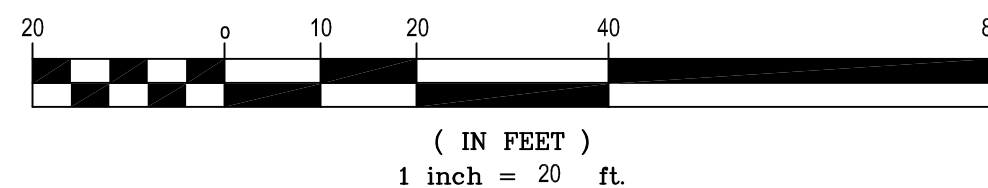
GAS SERVICE:

- 34 TIE TO EXISTING GAS LINE PER LOCAL SERVICE PROVIDER REQUIREMENTS - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 35 GAS SERVICE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 36 GAS METER AND SERVICE POINT INTO THE BUILDING - COORDINATE WITH ELECTRIC SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING

ADDITIONAL KEY NOTES:

- 40 UTILITY CROSSING PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDERS PRIOR TO ANY WORK DONE

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

FLOOD ZONE

By graphic plotting only, this property is in Zone "X Unshaded", "X Shaded" & "AE" of the Flood Insurance Rate Map, Community Panel No. 5101030139D, which bears an effective date of 12/09/2014 and is in a Special Flood Hazard Area, Zone "X-Unshaded" - Area of minimal flood hazard, usually depicted on FIRMS as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levee from 100-year flood.

BM #2
TYPE: FIP 5/8" Rebar
NORTHING: 3537921.64
EASTING: 12082734.63
ELEVATION: 15.95

BM #1
TYPE: CP MAG
NORTHING: 3537960.86
EASTING: 12082580.68
ELEVATION: 18.42

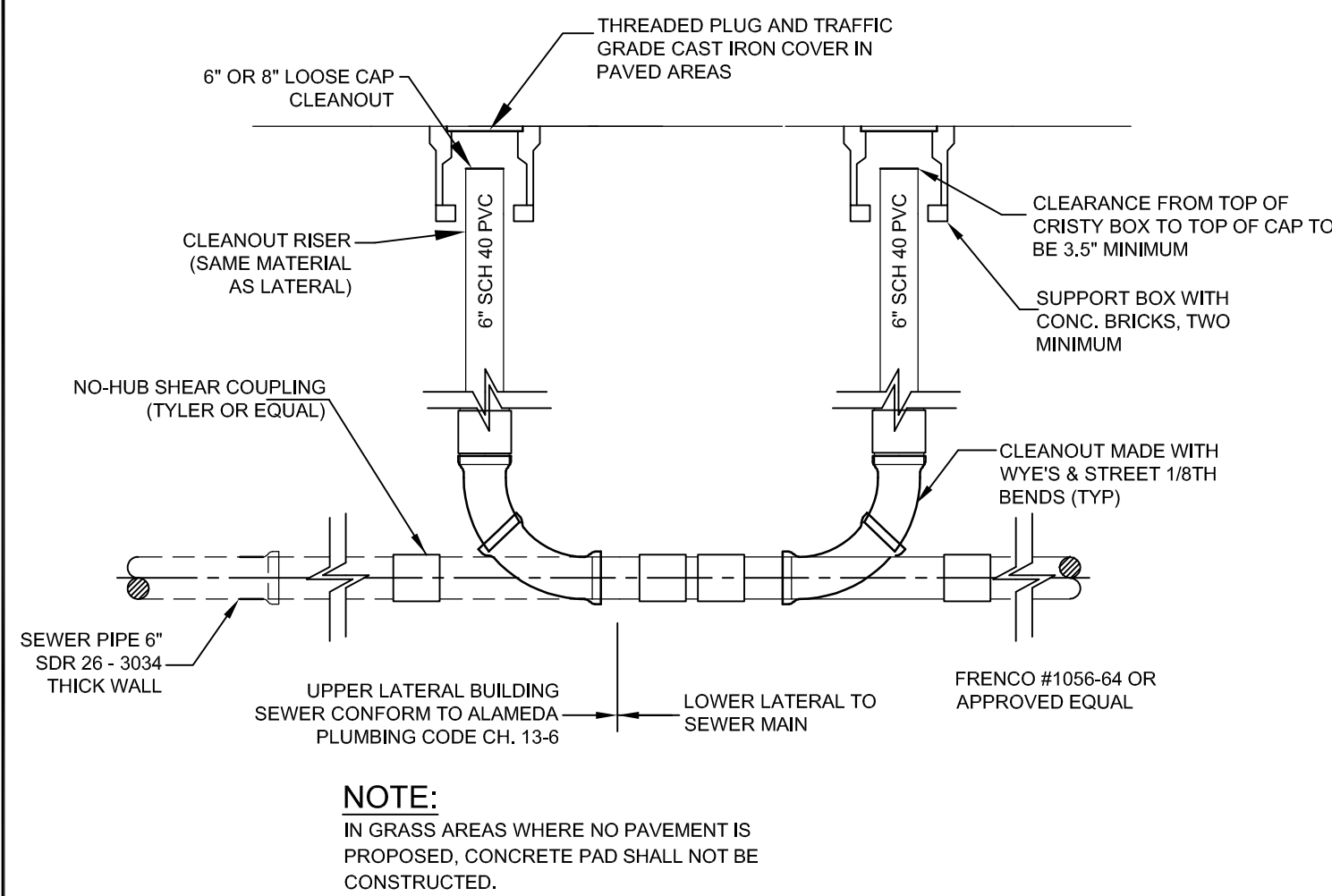
NOTE:
-AVE. CFS = 0.13
-MAX FLOW CFS IS 0.32
-CALCULATIONS FOR THE GREASE INTERCEPTOR ARE BY A DIFFERENT METHOD.
-DRAIN FLOW FOR THE BUILDING IN 49 GPM. PER CODE 1 GPM = 2 DFU

NOTE:
PROVIDE (2) 4" PVC CONDUITS UNDER DRIVES TO ALL LANDSCAPED AREAS.
PROVIDE 2" COVER AND CAP OFF. MARK STUB OUT WITH FLAGMARKER.
ALL LANDSCAPED AREAS TO BE IRRIGATED (IRRIGATION PLAN TO BE SUBBED OUT THRU G.C.) - SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND DETAILS
SEE M.E.P. PLANS FOR ALL UTILITY SERVICE ENTRIES.
LOCATIONS SHOW ARE APPROXIMATE.

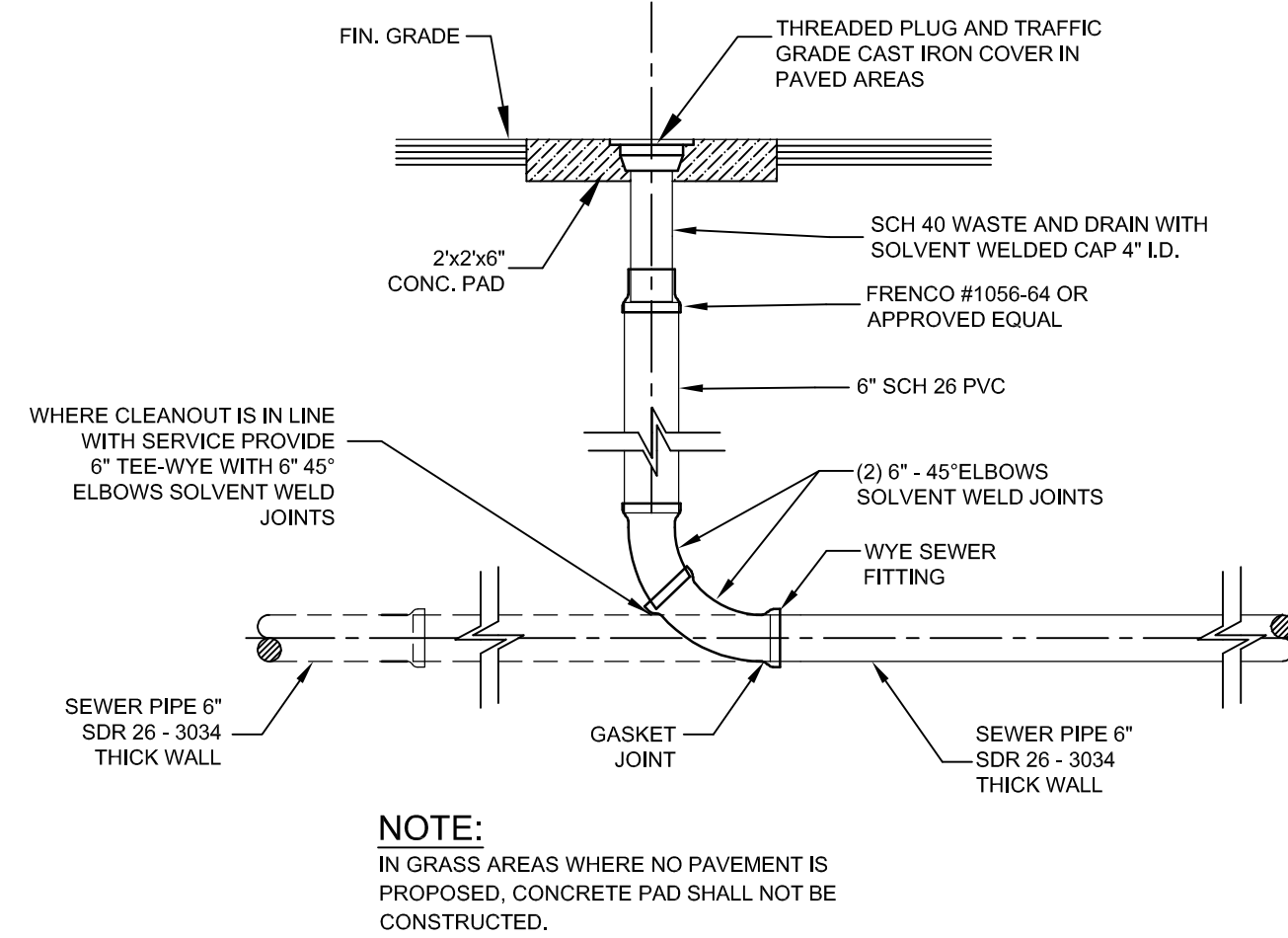
PROPOSED LEGEND

- SA SANITARY SEWER LINE PER LOCAL UTILITY COMPANY SPECS.
- W WATER LINE PER LOCAL UTILITY CO SPECS.
- GAS GAS LINE PER LOCAL UTILITY CO SPECS.
- UGE UNDERGROUND ELECTRIC SERVICE PER LOCAL UTILITY CO SPECS.
- UGC UNDERGROUND TELEPHONE AND COMMUNICATIONS SERVICE PER LOCAL UTILITY CO SPECS.
- GREASE TRAP - SEE PLUMBING PLANS
- WM WATER METER PER SERVICE PROVIDER SPECS.
- RPZ ABOVE GROUND RPZ WITH HEATED ENCLOSURE
- GM GAS METER PER SERVICE PROVIDER SPECS.
- EM ELECTRIC METER PER SERVICE PROVIDER SPECS.
- SM SANITARY SEWER MANHOLE

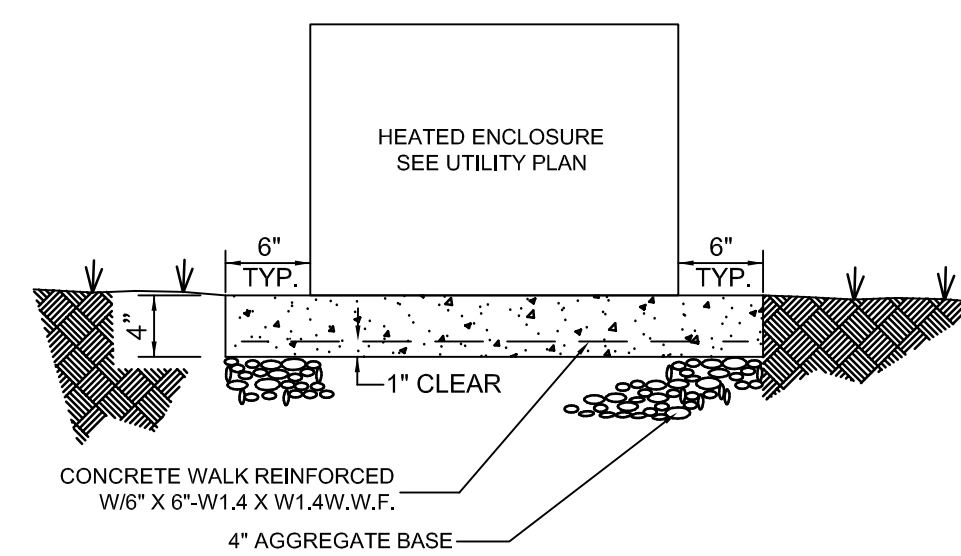




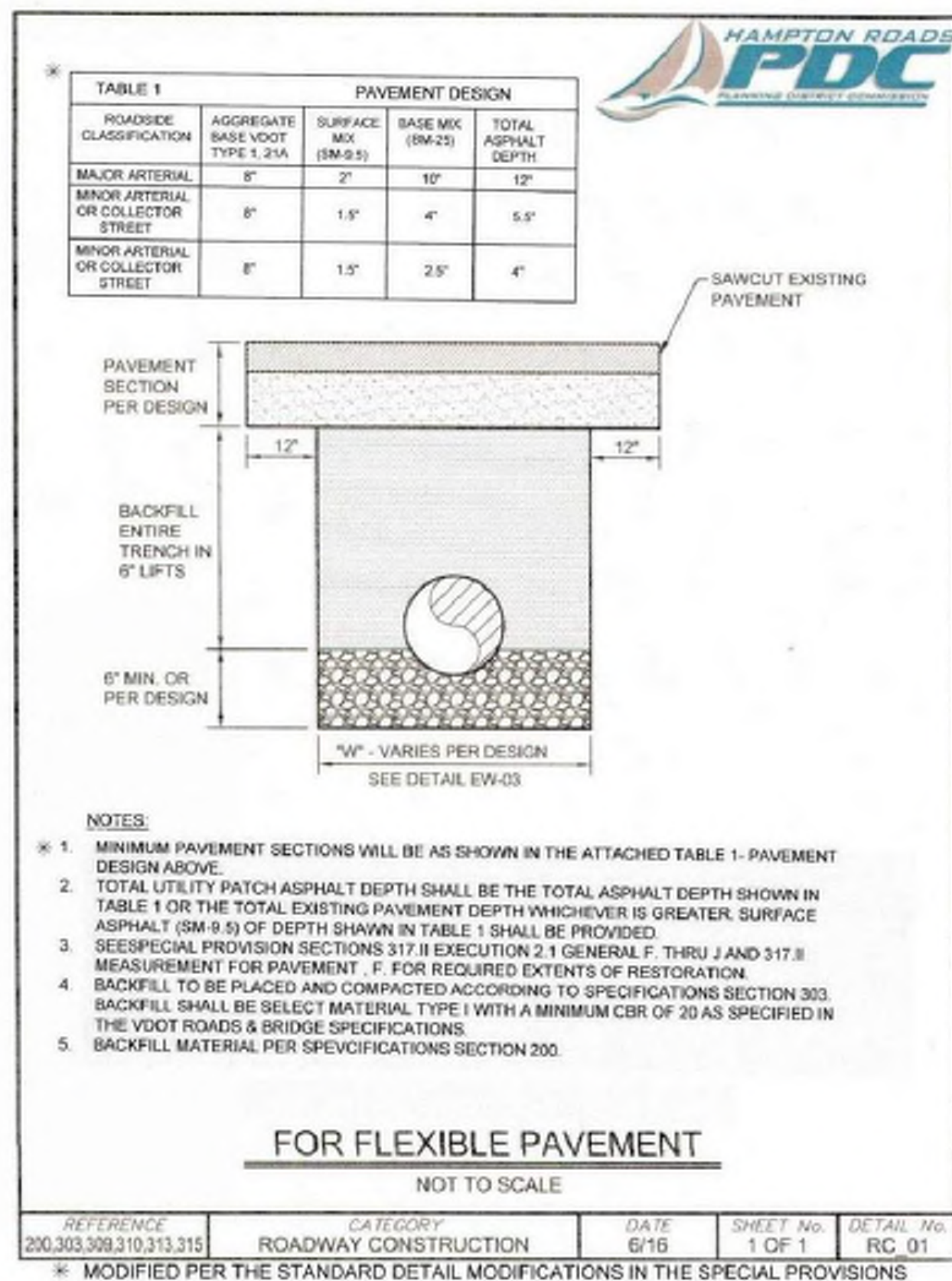
1 PRIVATE SANITARY SEWER TWO WAY CLEANOUT
N.T.S.



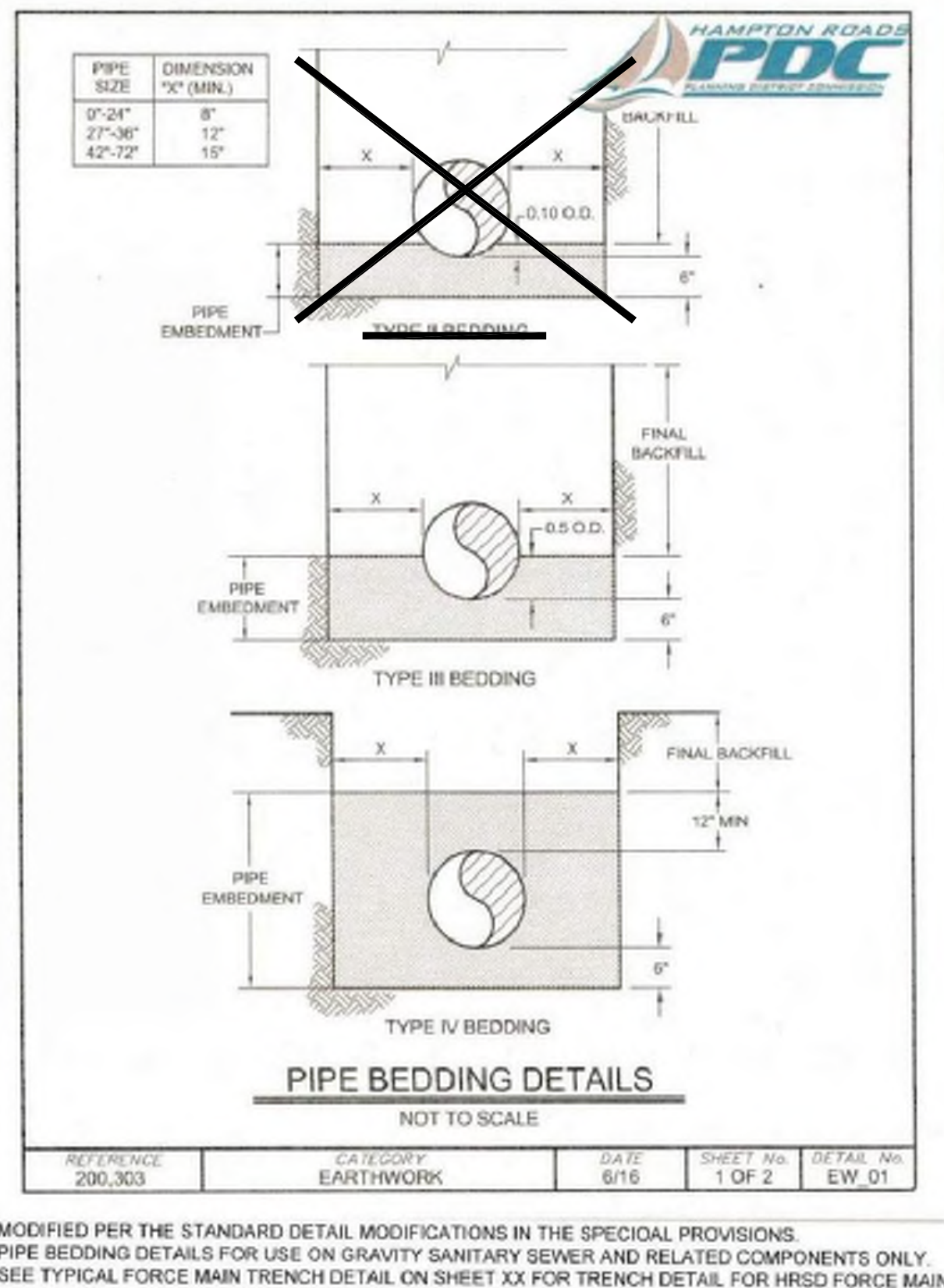
2 PRIVATE SANITARY SEWER CLEANOUT
N.T.S.



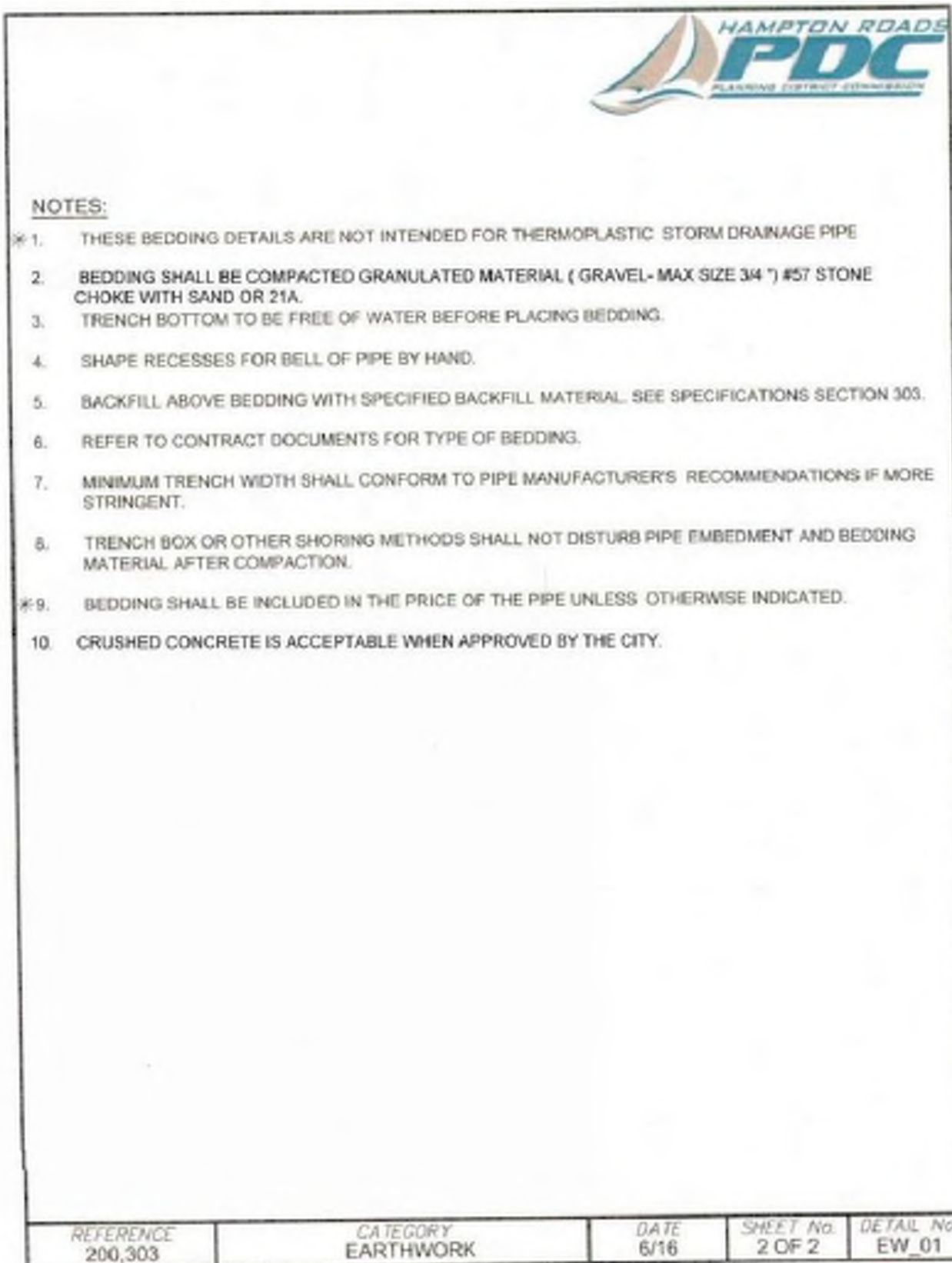
3 CONCRETE PAD AT BACKFLOW PREVENTER
N.T.S.



4



5



6



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

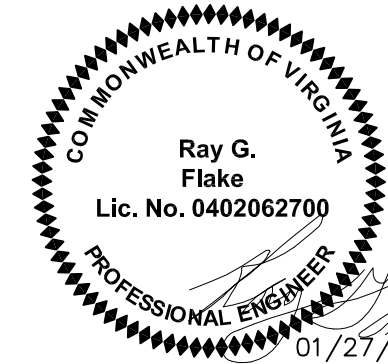
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

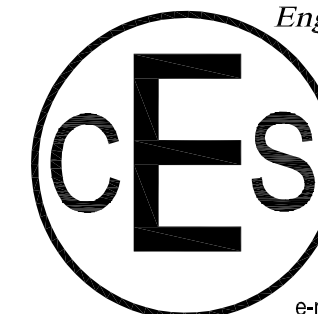
PANDA PROJECT #: S8-21-D8164

PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilingineeringservices.net

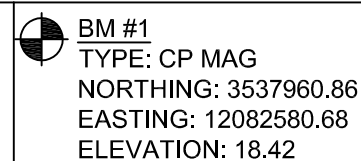
PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

UTILITY DETAIL
SHEET

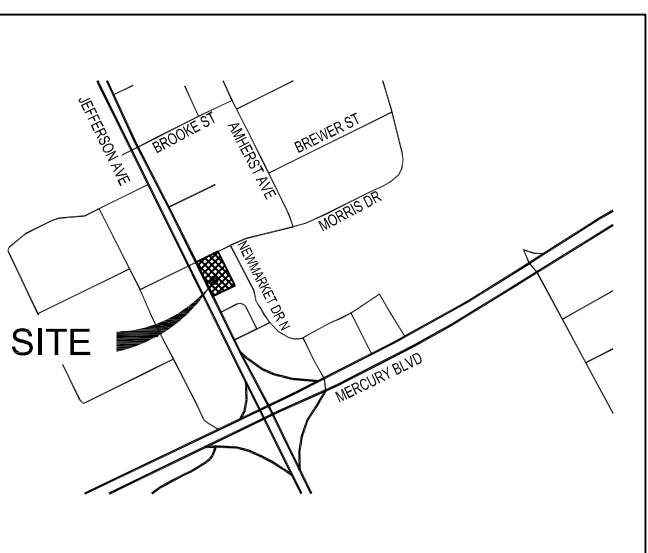
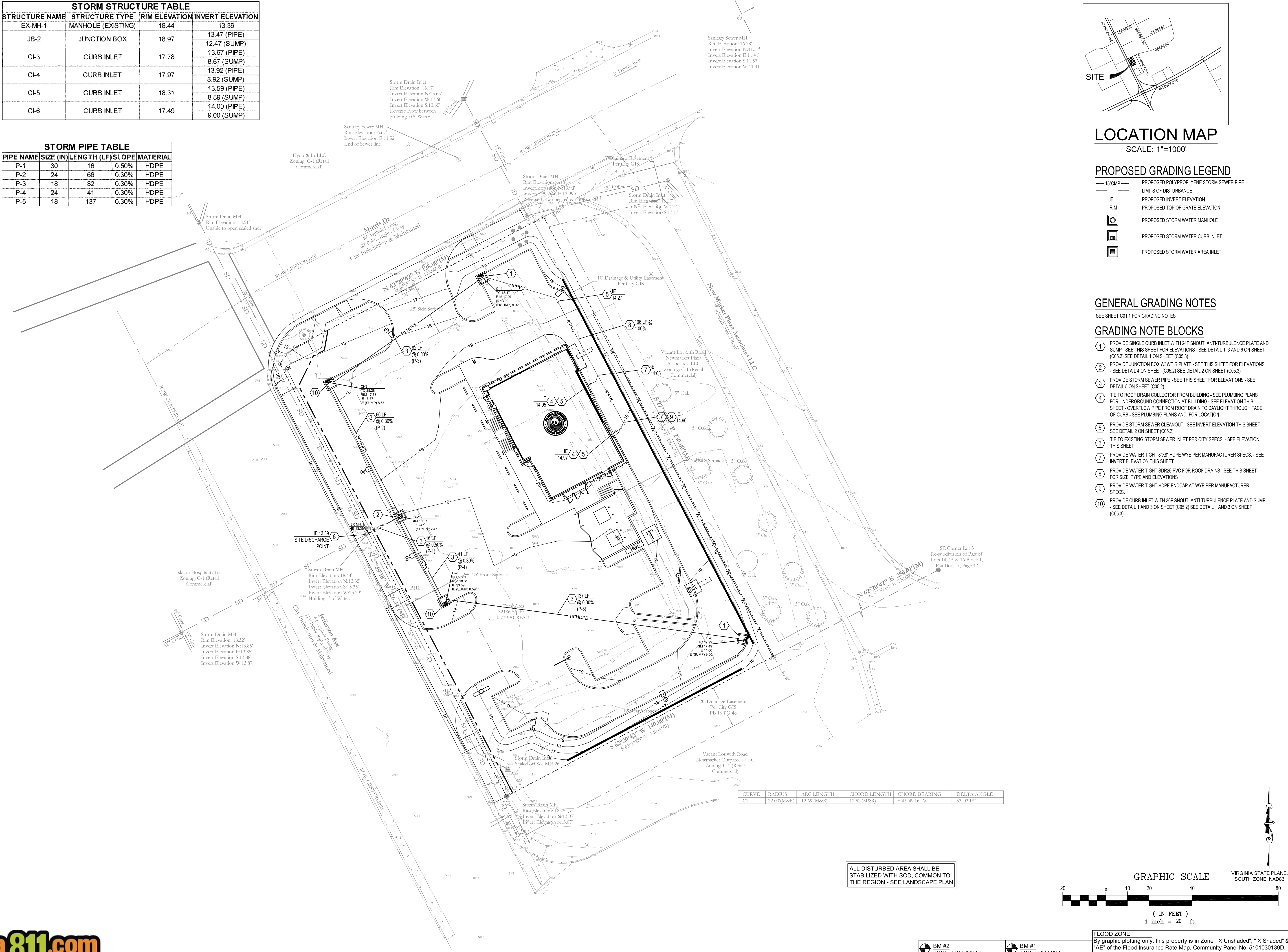
C04.1

TRUE WARM & WELCOME 2300 R2



STORM STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT ELEVATION
EX-MH-1	MANHOLE (EXISTING)	18.44	13.39
JB-2	JUNCTION BOX	18.97	13.47 (PIPE)
			12.47 (SUMP)
CI-3	CURB INLET	17.78	13.67 (PIPE)
			8.67 (SUMP)
CI-4	CURB INLET	17.97	13.92 (PIPE)
			8.92 (SUMP)
CI-5	CURB INLET	18.31	13.59 (PIPE)
			8.59 (SUMP)
CI-6	CURB INLET	17.49	14.00 (PIPE)
			9.00 (SUMP)

STORM PIPE TABLE				
PIPE NAME	SIZE (IN)	LENGTH (LF)	SLOPE	MATERIAL
P-1	30	16	0.50%	HDPE
P-2	24	86	0.30%	HDPE
P-3	18	82	0.30%	HDPE
P-4	24	41	0.30%	HDPE
P-5	18	137	0.30%	HDPE



LOCATION MAP
SCALE: 1"=1000'

PROPOSED GRADING LEGEND	
15" CMP	PROPOSED POLYPROPYLENE STORM SEWER PIPE
IE	LIMITS OF DISTURBANCE
RIM	PROPOSED INVERT ELEVATION
⊗	PROPOSED TOP OF GRATE ELEVATION
⊗	PROPOSED STORM WATER MANHOLE
⊗	PROPOSED STORM WATER CURB INLET
⊗	PROPOSED STORM WATER AREA INLET

GENERAL GRADING NOTES
SEE SHEET C01.1 FOR GRADING NOTES

- GRADING NOTE BLOCKS
- 1 PROVIDE SINGLE CURB INLET WITH 24\"/>



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

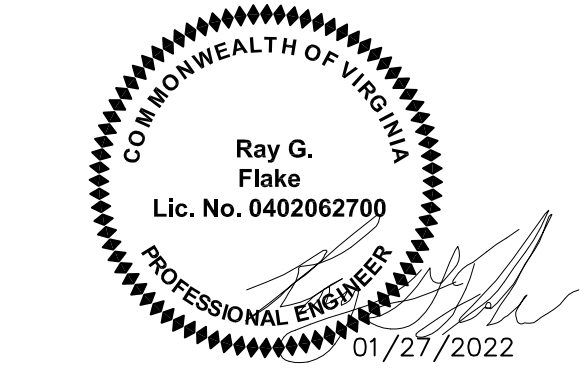
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:		

ISSUE DATE:		
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164
PANDA STORE #: D-8164
ARCH PROJECT #: XXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

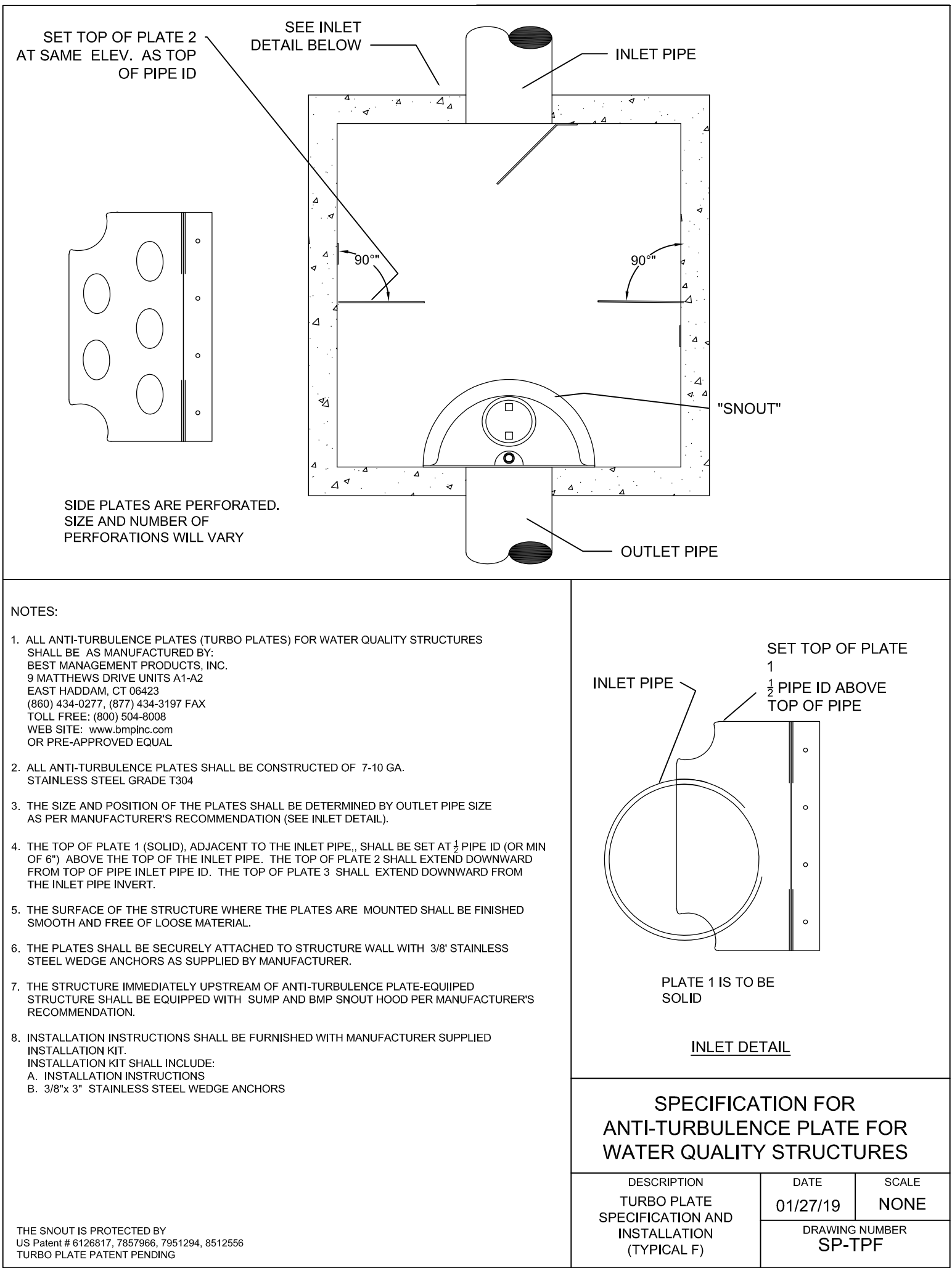
e-mail: ray@civilengineeringsservices.net

PANDA EXPRESS
TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

DRAINAGE
PLAN
C05.1
TRUE WARM & WELCOME 2300 R2



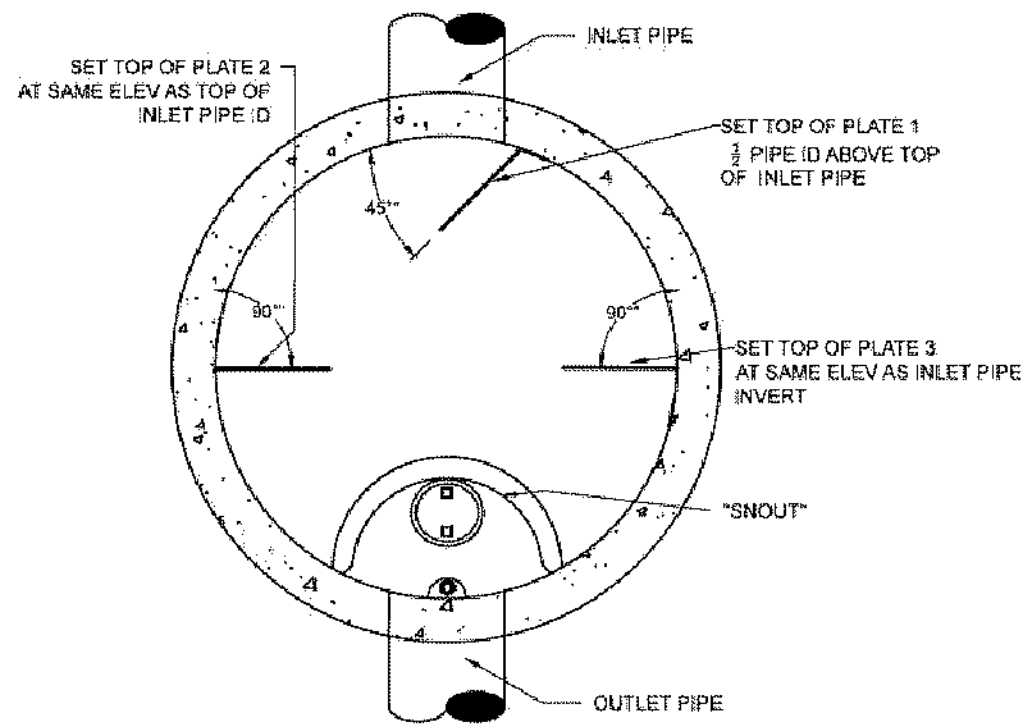
BM #2 TYPE: FIP 5/8" Rebar NORTHING: 3537921.64 EASTING: 12082734.63 ELEVATION: 15.95	BM #1 TYPE: CP MAG NORTHING: 3537960.86 EASTING: 12082580.68 ELEVATION: 18.42
---	---



Best Management Products, Inc.
US and International Patents Pending

TURBO PLATE INSTALLATION INSTRUCTIONS

- All Turbo Plates should be positioned vertically such that the mounting flange is perpendicular to the bottom of the structure.
- The top of the first plate (solid) should be placed 1/2 of the pipe diameter above the top of the ID of inlet pipe (e.g. if the pipe is 12" ID, place top of plate 6" above inside diameter of pipe).
- The plates should be oriented in the desired direction of flow, where the first plate directs flow to the second plate.



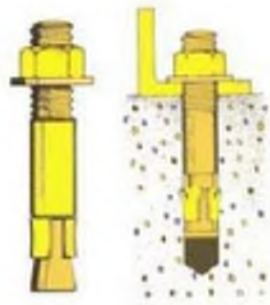
- The second plate shall be set at 90 degrees from the inlet pipe center line, where the top of the plate is set level with the top of the inside of the inlet pipe.
- If a third plate is required, it should be positioned at 270 degrees from the inlet pipe with the top of the plate set at the inlet pipe invert.
- Installation Kit Items: 3/8" x 3" stainless wedge anchor bolts (# as needed).

NOTE: Please check packing material for entire contents of shipment.

9 Mathews Drive, Unit A1-A2, East Haddam, CT 06423 / 888.434.0277
www.bmpinc.com

Best Management Products, Inc.
US and International Patents Pending

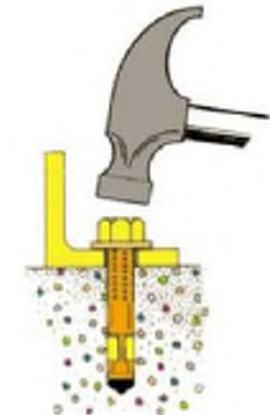
Concrete Wedge Anchor Installation



How to install



1. Drill hole in concrete (hole dia. same as thread dia.) > (3/8") maximum depth of hole could be any depth beyond minimum recommended depth. Clean out hole of all debris.

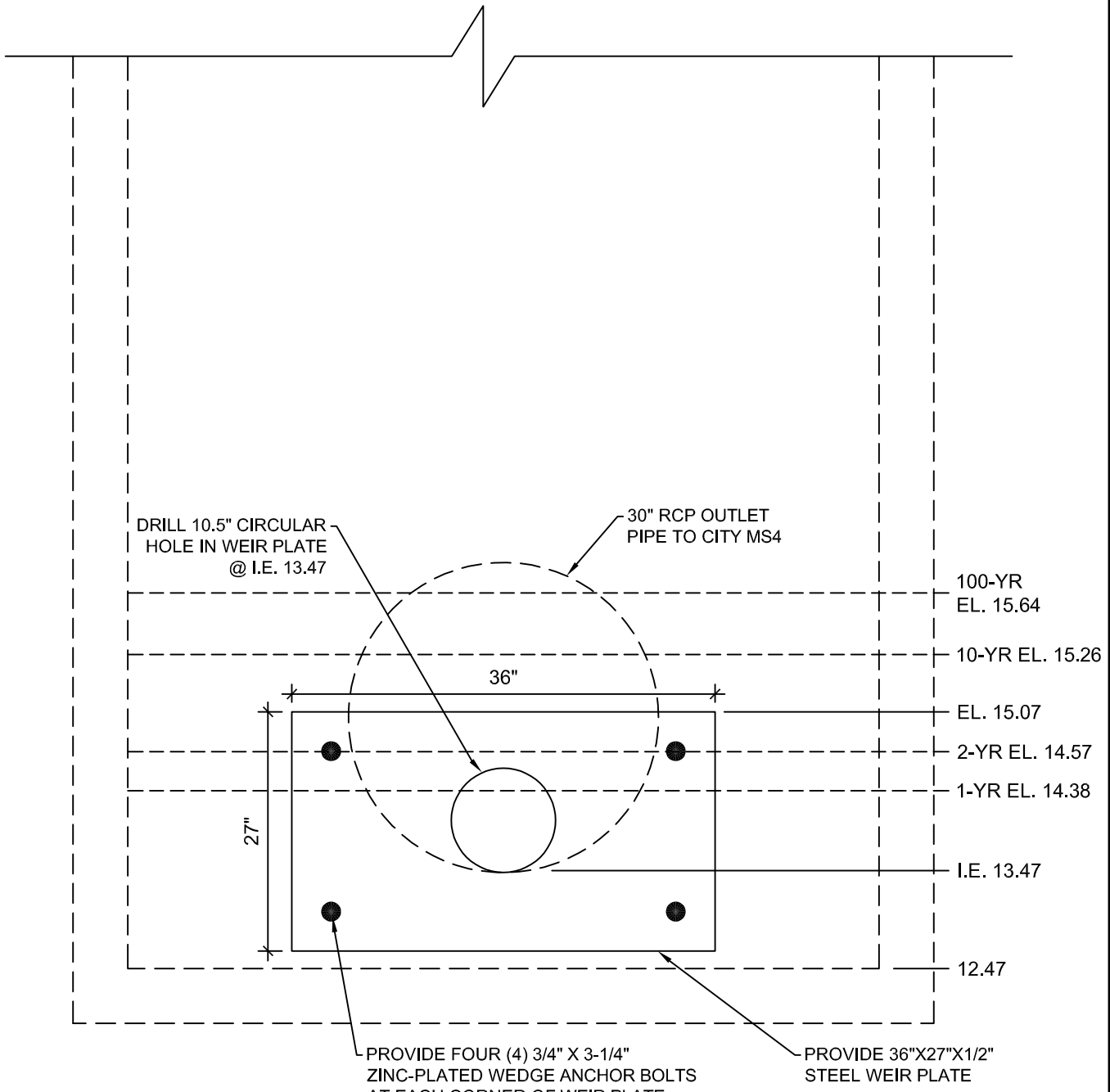


2. Place nut on the end of the wedge anchor (to protect the threads of the wedge anchor during installation). Drive wedge anchor into drilled hole through fixture so that nut is flush with fixture.



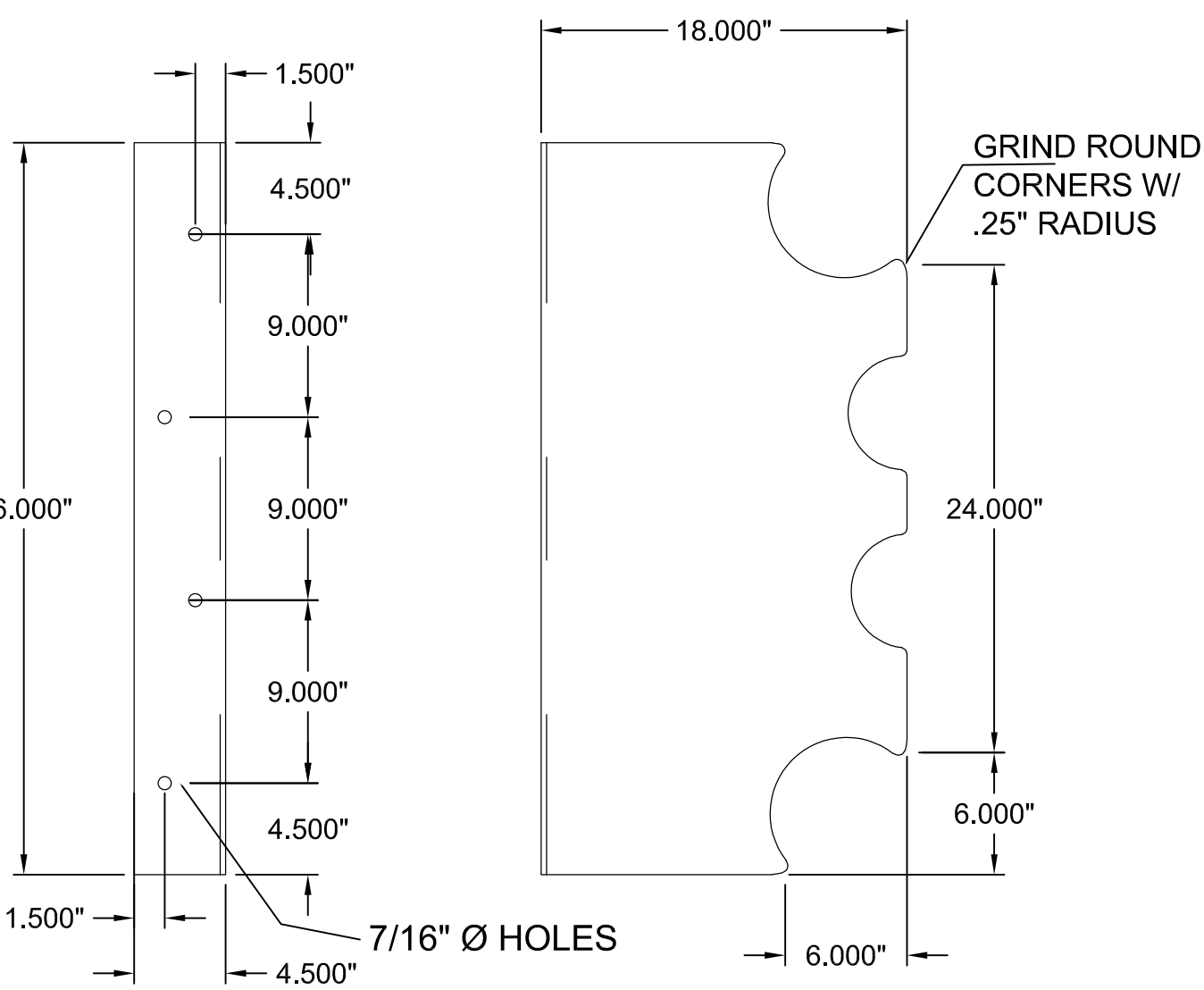
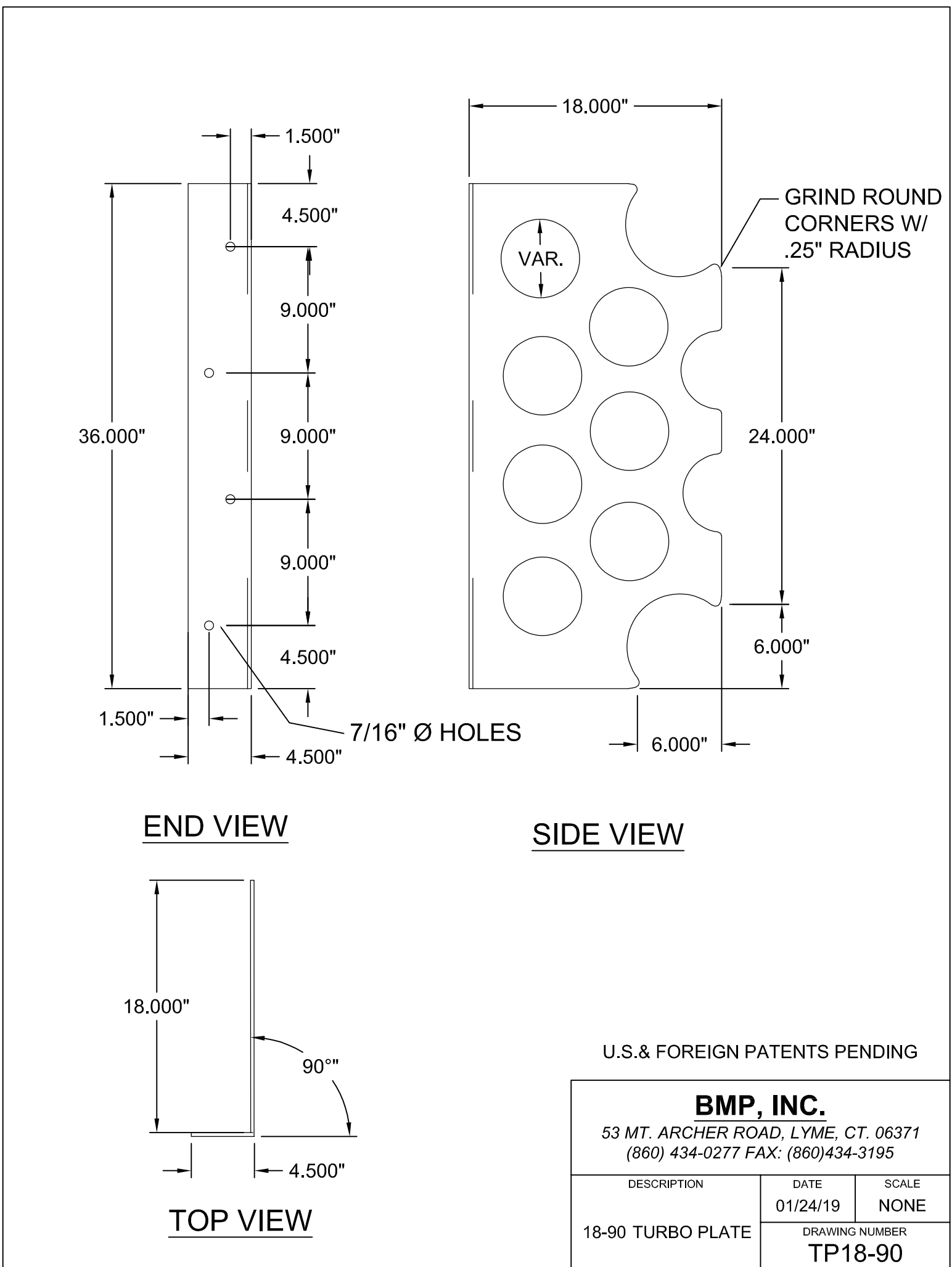
3. Tighten nut until wrench resistance is felt (approximately 3 to 4 turns of the nut after snugged up) anchorage is now complete.

9 Mathews Drive, Unit A1-A2, East Haddam, CT 06423 / 888.434.0277
www.bmpinc.com

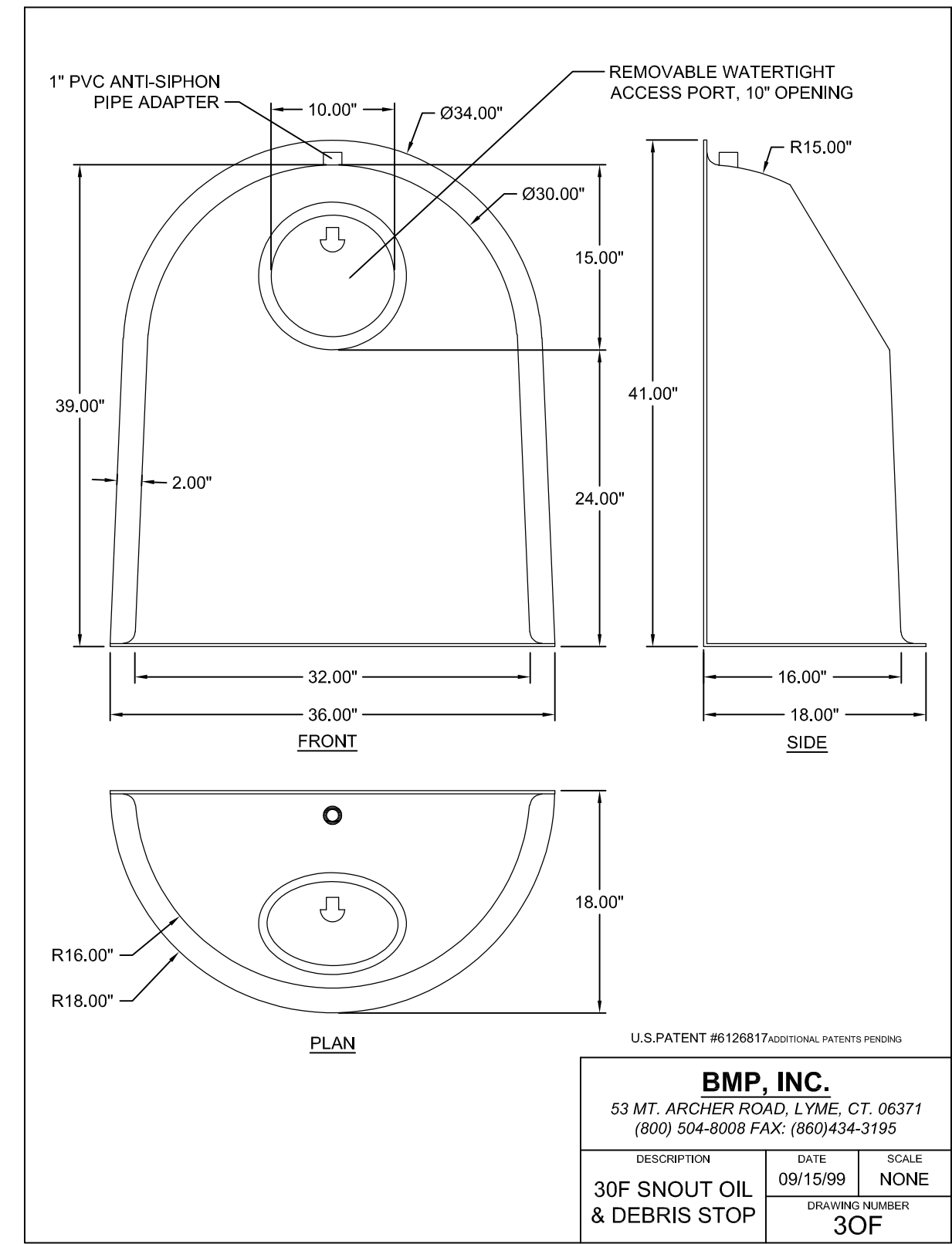


**WEIR PLATE DETAIL -
LOOKING DOWNSTREAM**
N.T.S.

2



**1 TURBO PLATE
NTS**



**3 SNOUT DETAIL
NTS**



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

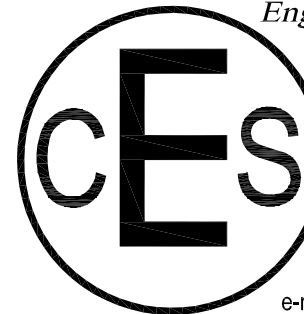
PANDA PROJECT #: S8-21-D8164

PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental
7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401
e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

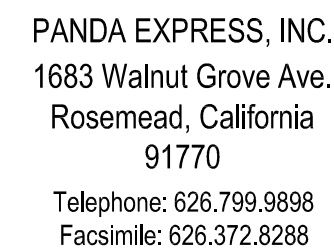
TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

**GRADING DETAIL
SHEET**

C05.3

TRUE WARM & WELCOME 2300 R2

XX-XX-XX



All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

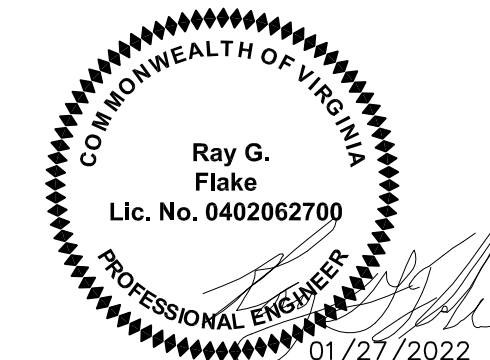
REVISIONS:

ISSUE DATE:

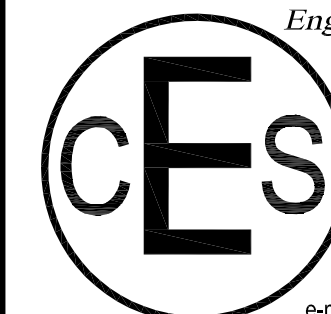
1	PERMIT/BID SET	02-12-22
2	CITY COMMENTS	08-17-22
3	CITY COMMENTS	10-22-22
4	CITY COMMENTS	12-15-22
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164
PANDA STORE #: - D-8164
ARCH PROJECT #: - XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringervices.net

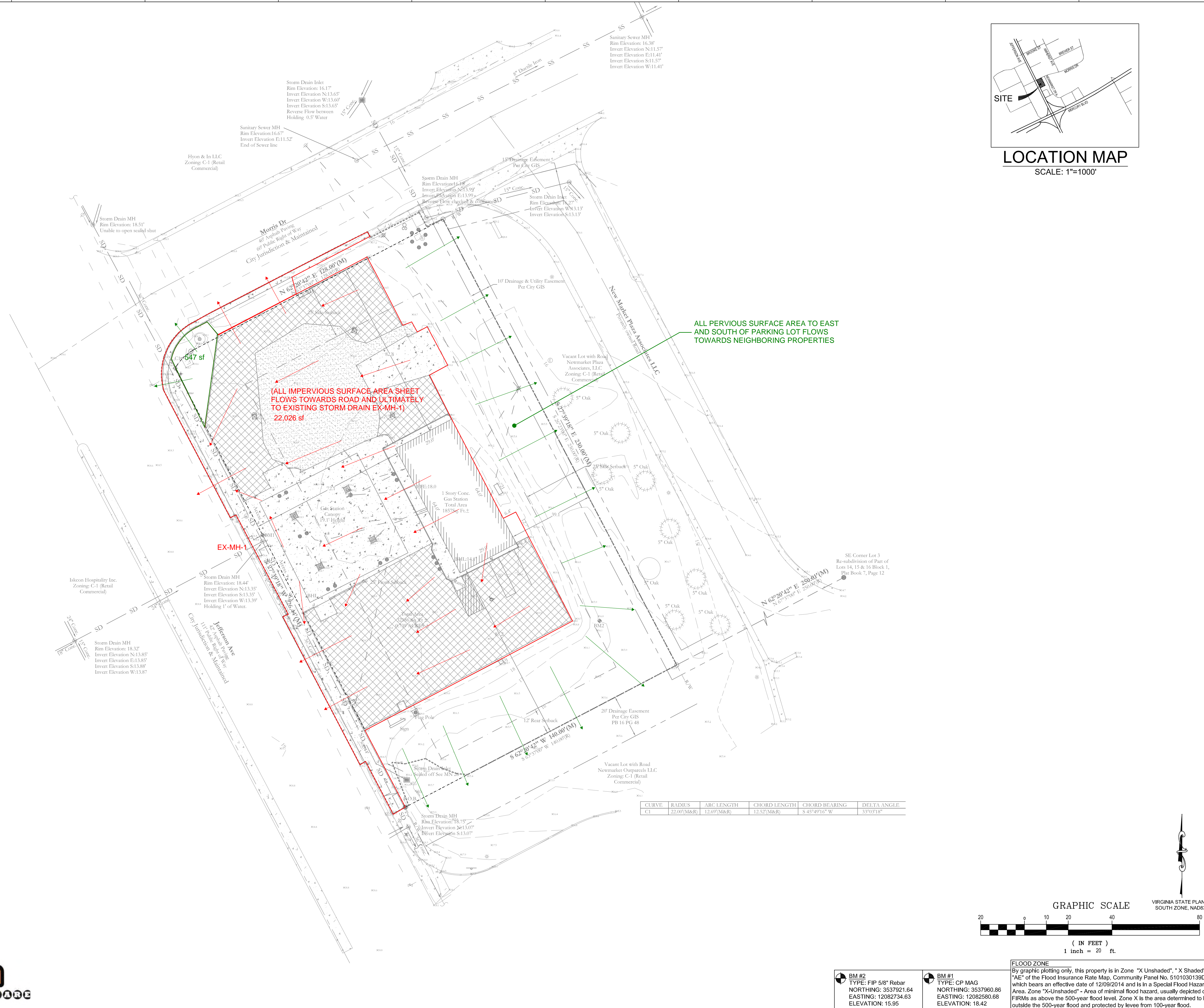
PANDA EXPRESS

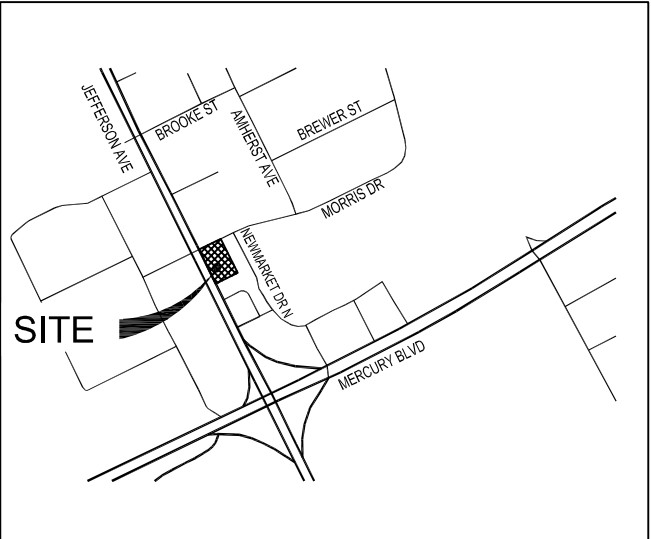
TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

EXISTING DRAINAGE MAP

C05.4

TRUE WARM & WELCOME 2300 R2





LOCATION MAP
SCALE: 1"=1000'

PROPOSED GRADING LEGEND

TC	PROPOSED TOP OF CURB ELEVATION
P	PROPOSED BOTTOM OF CURB/PAVEMENT ELEVATION
G	PROPOSED GUTTER LINE ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
HP	PROPOSED HIGH POINT ELEVATION
MG	MATCH EXISTING GRADE ELEVATION
IE	PROPOSED INVERT ELEVATION
RM	PROPOSED TOP OF GRATE ELEVATION
L	LIMITS OF DISTURBANCE
S	PROPOSED SLOPE DIRECTION
M	PROPOSED STORMWATER MANHOLE
C	PROPOSED STORM WATER CURB INLET
A	PROPOSED STORM WATER AREA INLET



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

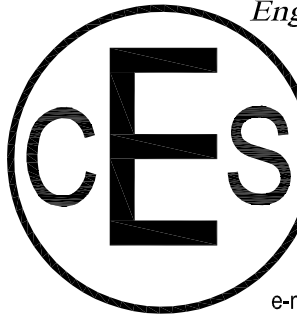
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164
PANDA STORE #: D-8164
ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services
Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

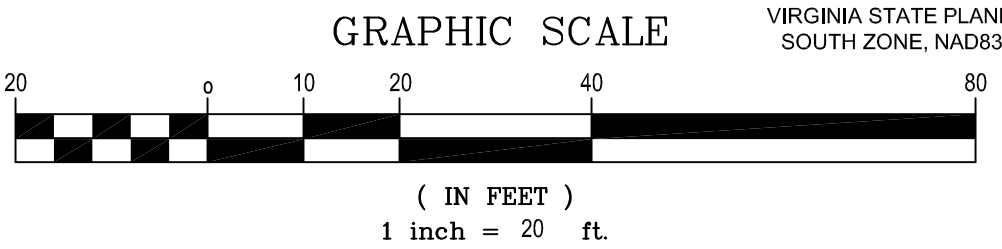
PROPOSED
DRAINAGE MAP

C05.5

TRUE WARM & WELCOME 2300 R2



ALL DISTURBED AREA SHALL BE
STABILIZED WITH SOD, COMMON TO
THE REGION - SEE LANDSCAPE PLAN



FLOOD ZONE
By graphic plotting only, this property is in Zone "X Unshaded", "X Shaded" & "AE" of the Flood Insurance Rate Map, Community Panel No. 5101030139D, which bears an effective date of 12/09/2014 and is in a Special Flood Hazard Area. Zone "X-Unshaded" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levees from 100-year flood.

BM #2
TYPE: FIP 5/8" Rebar
NORTHING: 3537921.64
EASTING: 12082734.63
ELEVATION: 15.95

BM #1
TYPE: CP MAG
NORTHING: 3537960.86
EASTING: 12082580.68
ELEVATION: 18.42

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
CI	22.00'(M&R)	12.69'(M&R)	12.52'(M&R)	S 45°49'16" W	33°03'18"

SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL PERMITS
2. INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES
3. CONTACT AND SET UP PRECON MEETING WITH CITY OF NEWPORT NEWS INSPECTORS (757)933-2311
4. DEMOLISH EXISTING SITE FEATURES
5. CLEAR AND GRUB
6. ROUGH BEGIN ROUGH GRADING
7. INSTALL UTILITIES
8. CONSTRUCT BUILDING
9. CONSTRUCT STORM SEWER
10. INSTALL INLET PROTECTION (ADJUST EROSION CONTROL AS REQUIRED)
11. STABILIZE ALL DISTURBED AREAS.
12. REMOVE EROSION AND SEDIMENT CONTROL MEASURES

PROPOSED LEGEND

- INSTALL INLET PROTECTION - SEE DETAIL SHEET (C06.2)
- INSTALL FILTER SOCK - SEE DETAIL SHEET (C06.2)
- TEMPORARY CONSTRUCTION EXIT - SEE DETAIL SHEET (C06.2)
- CONCRETE WASHOUT AREA - SEE DETAIL SHEET (C06.2)
- LIMITS OF DISTURBANCE

GENERAL EROSION CONTROL NOTES

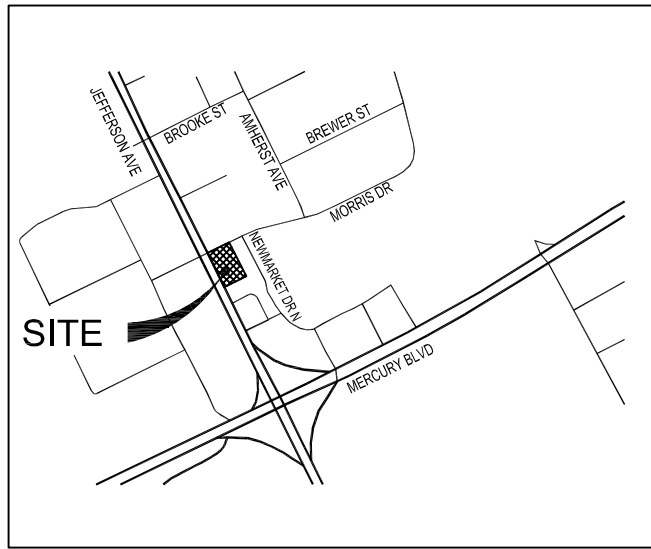
SEE SHEET C01.1 FOR EROSION CONTROL NOTES

KEYNOTES

1. TEMPORARY CONSTRUCTION EXIT - SEE DETAIL #2 ON SHEET (C06.2)
2. INSTALL FILTER SOCK SEDIMENT PROTECTION - MAINTAIN THROUGHOUT CONSTRUCTION - FIELD ADJUST AS REQUIRED - SEE DETAIL #3 ON SHEET (C06.2)
3. CONCRETE WASHOUT PER EPA STANDARDS - CONTRACTOR TO FIELD ADJUST LOCATION ON SITE AS NEEDED - SEE DETAIL #4 ON SHEET (C06.2)
4. LIMITS OF LAND DISTURBANCE

GRADING INFORMATION

TOTAL SITE AREA = 32,186 SF / 0.739 AC
LIMITS OF DISTURBANCE = 35,119 SF / 0.81 AC



LOCATION MAP

SCALE: 1"=1000'

EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH THE CURRENT LAWS AND REGULATIONS OF THE CITY OF NEWPORT NEWS, THE COMMONWEALTH OF VIRGINIA, AND AS DEEMED NECESSARY BY THE DIRECTOR OF ENGINEERING, DURING AND AFTER CONSTRUCTION ON THE SITE. ALL MINIMUM STANDARDS AND SPECIFICATIONS REGARDING THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FOLLOWED BY THE CONTRACTOR.
2. A LAND DISTURBANCE PERMIT IS REQUIRED FOR THE PROJECT AND SHALL BE OBTAINED IN THE PLANNING DEPT., 2ND FLOOR OF CITY HALL. A RESPONSIBLE LAND DISTURBER SHALL BE IDENTIFIED ON ALL LAND DISTURBANCE PERMITS. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS IDENTIFIED HERE WILL INITIATE A NOTICE TO COMPLY (NTC), NOTICE OF VIOLATION (NOV), STOP WORK ORDERS (SWO), CIVIL PENALTIES, OR NULLIFY THE PERMIT.
3. ALL STORMWATER BEST MANAGEMENT PRACTICES NEED TO BE CONSTRUCTED AND INSTALLED AS PER THE APPROVED PLAN. THE CONTRACTOR OR OWNER MUST CONTACT THE CITY'S ENVIRONMENTAL INSPECTION STAFF AT (757) 933-2311 TO SCHEDULE A PRECONSTRUCTION MEETING 48 HOURS IN ADVANCE OF LAND DISTURBANCE.
4. ALL APPROPRIATE EROSION CONTROL MEASURES SUCH AS, BUT NOT LIMITED TO, TREE PROTECTION, SILT FENCE, CONSTRUCTION ENTRANCE, AND INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MUST BE REVIEWED AND APPROVED BY A CITY INSPECTOR BEFORE ANY CLEARING OPERATIONS BEGIN. THE CONTRACTOR OR OWNER MUST CONTACT THE CITY'S ENVIRONMENTAL INSPECTION STAFF AT (757) 933-2311 TO SCHEDULE ALL INSPECTIONS.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND LAND DISTURBANCE PERMIT MUST BE MAINTAINED AT THE SITE FOR THE DURATION OF ALL CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES.
6. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL APPROVED MEASURES AS SHOWN ON THE APPROVED PLANS. ANY ADDITIONAL MEASURES DEEMED REQUIRED BY THE CITY, DUE TO FIELD CONDITIONS, SHALL BECOME PART OF THE EROSION AND SEDIMENT CONTROL PLAN FOR THE PROPERTY. ALL FIELD CHANGES MUST BE APPROVED BY EITHER THE CITY'S INSPECTOR OR ENGINEER PRIOR TO INSTALLATION. ALL APPROVED FIELD CHANGES SHALL BE SENT TO THE PLANNING DEPT. TO BE ATTACHED TO THE APPROVED PLAN.
7. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
8. THE CONTRACTOR MAY NOT CHANGE OR ALTER ANY OF THE APPROVED MEASURES WITHOUT FIRST NOTIFYING THE CITY'S INSPECTOR OR ENGINEER. FAILURE TO DO SO MAY RESULT IN A NOV, SWO, CIVIL PENALTIES, AND/OR REVOCATION OF THE LAND DISTURBANCE PERMIT.
9. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL MEASURES TO PREVENT SOIL FROM ERODING ONTO ADJACENT PROPERTY, STREETS, DRAINAGE SYSTEMS, AND WATERWAYS. ALL DEVICES SHALL BE CLEANED OF SEDIMENT, MUD, DEBRIS, AND OTHER ERODED MATERIAL DURING THE SITE CLEARING AND DEVELOPMENT. INSPECTIONS SHALL BE AT A MINIMUM EVERY TWO (2) WEEKS AND REQUIRED AFTER EVERY RUNOFF PRODUCING EVENT. ALL INSPECTION AND MAINTENANCE ACTIVITIES SHALL BE DOCUMENTED AND AVAILABLE FOR REVIEW AT THE CITY'S REQUEST.
10. TEMPORARY AND PERMANENT SEEDING OPERATIONS SHALL BE INITIATED WITHIN SEVEN (7) DAYS AFTER REACHING FINAL GRADE OR UPON SUSPENSION OF GRADING OPERATIONS FOR AN ANTICIPATED DURATION OF GREATER THAN FOURTEEN (14) DAYS OR UPON COMPLETION OF GRADING OPERATIONS FOR A SPECIFIC AREA.
11. EROSION AND CONTROL MEASURES SHALL BE KEPT IN PLACE FOR THE DURATION OF THE CLEARING AND CONSTRUCTION OPERATIONS AND AT A MAXIMUM FOR THE SPECIFIED TIME FOR EACH MEASURE AS IDENTIFIED IN THE VESC HANDBOOK, OR WHEN FULL STABILIZATION HAS OCCURRED FOR THE ENTIRE SITE. A FINAL INSPECTION BY THE CITY INSPECTOR SHALL DETERMINE WHEN THIS FACT IS ACCOMPLISHED AND ALL TEMPORARY MEASURES AND DEVICES CAN BE REMOVED.
12. THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST AND OTHER AIR POLLUTANTS, INCLUDING BY NOT LIMITED TO USING WATER OR CHEMICALS, LIMITING THE NUMBER OF VEHICLES ALLOWED ON SITE, MINIMIZING THE OPERATING SPEED OF ALL VEHICLES, ETC. ALSO, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PUBLIC RIGHT-OF-WAY SHOULD SEDIMENT ACCUMULATE ON PAVED SURFACES.
13. CONTRACTOR SHALL SUBMIT A SEPARATE EROSION AND SEDIMENT CONTROL PLAN FOR ANY OFF-SITE AREAS ASSOCIATED WITH THE LAND DISTURBANCE AND SOIL REMOVAL IDENTIFIED HEREIN. A SEPARATE SUBMITTAL IS NOT NECESSARY FOR THE FOLLOWING SITUATIONS: A. NO MATERIAL WILL BE HAULED OR TRANSPORTED OFF-SITE AND APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AROUND ALL STOCKPILES AND STORAGE AREAS, OR B. ALL MATERIAL TO BE HAULED OR TRANSPORTED OFF-SITE WILL BE DEPOSITED AT A FEDERAL, STATE, AND LOCALLY APPROVED SITE. THE CONTRACTOR SHALL IDENTIFY ON THE PLANS WHAT DISPOSAL SITE WILL BE USED.
14. FOR ALL PROPOSED LAND DISTURBANCE ACTIVITIES THAT ARE ONE ACRE OR GREATER IN TOTAL AREA, A VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT MUST FIRST BE OBTAINED FROM THE CITY OF NEWPORT NEWS. THE VSMP AUTHORITY, PRIOR TO ANY ACTUAL SOIL DISTURBANCE TAKING PLACE. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A NOTICE-OF-VIOLATION. IT IS THE OWNERS' AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CITY OF NEWPORT NEWS, DEPARTMENT OF PLANNING, FOR PERMIT DETAILS, APPLICATION, AND APPROVALS.
15. APPROVAL OF AN EROSION AND SEDIMENT CONTROL PLAN AND ACQUISITION OF A LAND DISTURBING PERMIT DOES NOT RELIEVE THE OWNER/DEVELOPER FROM OBTAINING APPLICABLE FEDERAL, STATE, AND OTHER LOCAL PERMITS, OR FROM COMPLYING WITH PERTINENT FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. 16. A CONSTRUCTION RECORD DRAWING FOR PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF NEWPORT NEWS FOR ACCEPTANCE. THE CONSTRUCTION RECORD DRAWING SHALL BE APPROPRIATELY SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF VIRGINIA CERTIFYING THAT THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLAN.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

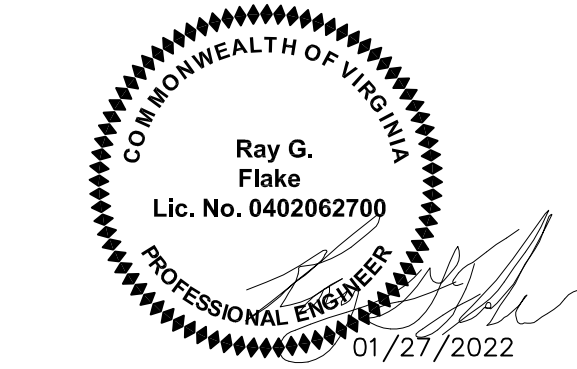
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164

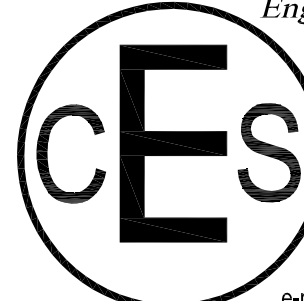
PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services

Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilingineeringservices.net

PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

INITIAL EROSION
CONTROL PLAN

C06.0

TRUE WARM & WELCOME 2300 R2



BM #2
TYPE: FIP 5/8" Rebar
NORTHING: 3537921.64
EASTING: 12082734.63
ELEVATION: 15.95

BM #1
TYPE: CP MAG
NORTHING: 3537960.86
EASTING: 12082580.68
ELEVATION: 18.42

FLOOD ZONE

By graphic plotting only, this property is in Zone "X Unshaded", "X Shaded" & "AE" of the Flood Insurance Rate Map, Community Panel No. 5101030139D, which bears an effective date of 12/09/2014 and is in a Special Flood Hazard Area, Zone "X-Unshaded" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levees from 100-year flood.

SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL PERMITS
2. INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES
3. CONTACT AND SET UP PRECON MEETING WITH CITY OF NEWPORT NEWS INSPECTORS (757)933-2311
4. DEMOLISH EXISTING SITE FEATURES
5. CLEAR AND GRUB
6. ROUGH BEGIN ROUGH GRADING
7. INSTALL UTILITIES
8. CONSTRUCT BUILDING
9. CONSTRUCT STORM SEWER
10. INSTALL INLET PROTECTION (ADJUST EROSION CONTROL AS REQUIRED)
11. STABILIZE ALL DISTURBED AREAS.
12. REMOVE EROSION AND SEDIMENT CONTROL MEASURES

PROPOSED LEGEND

- INSTALL INLET PROTECTION - SEE DETAIL SHEET (C06.2)
- INSTALL FILTER SOCK - SEE DETAIL SHEET (C06.2)
- TEMPORARY CONSTRUCTION EXIT - SEE DETAIL SHEET (C06.2)
- CONCRETE WASHOUT AREA - SEE DETAIL SHEET (C06.2)
- LIMITS OF DISTURBANCE

GENERAL EROSION CONTROL NOTES

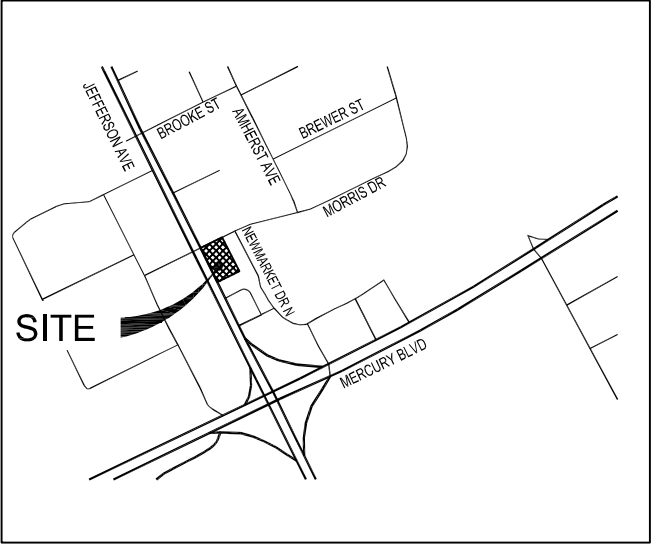
SEE SHEET C01.1 FOR EROSION CONTROL NOTES

KEYNOTES

1. TEMPORARY CONSTRUCTION EXIT - SEE DETAIL #2 ON SHEET (C06.2)
2. INSTALL FILTER SOCK SEDIMENT PROTECTION - MAINTAIN THROUGHOUT CONSTRUCTION - FIELD ADJUST AS REQUIRED - SEE DETAIL #3 ON SHEET (C06.2)
3. CONCRETE WASHOUT PER EPA STANDARDS - CONTRACTOR TO FIELD ADJUST LOCATION ON SITE AS NEEDED - SEE DETAIL #4 ON SHEET (C06.2)
4. LIMITS OF LAND DISTURBANCE
5. INSTALL INLET PROTECTION FOR EACH PROPOSED CURB INLET - SEE DETAIL #1 ON SHEET (C06.2)
6. DISTURBED AREA TO BE STABILIZED WITH TEMPORARY SEEDING / PERMANENT SOD

GRADING INFORMATION

TOTAL SITE AREA = 32,186 SF / 0.739 AC
LIMITS OF DISTURBANCE = 35,119 SF / 0.81 AC



LOCATION MAP

SCALE: 1"=1000'

EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH THE CURRENT LAWS AND REGULATIONS OF THE CITY OF NEWPORT NEWS, THE COMMONWEALTH OF VIRGINIA, AND AS DEEMED NECESSARY BY THE DIRECTOR OF ENGINEERING, DURING AND AFTER CONSTRUCTION ON THE SITE. ALL MINIMUM STANDARDS AND SPECIFICATIONS REGARDING THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FOLLOWED BY THE CONTRACTOR.
2. A LAND DISTURBANCE PERMIT IS REQUIRED FOR THE PROJECT AND SHALL BE OBTAINED IN THE PLANNING DEPT., 2ND FLOOR OF CITY HALL. A RESPONSIBLE LAND DISTURBER SHALL BE IDENTIFIED ON ALL LAND DISTURBANCE PERMITS. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS IDENTIFIED HERE WILL INITIATE A NOTICE TO COMPLY (NTC), NOTICE OF VIOLATION (NOV), STOP WORK ORDERS (SWO), CIVIL PENALTIES, OR NULLIFY THE PERMIT.
3. ALL STORMWATER BEST MANAGEMENT PRACTICES NEED TO BE CONSTRUCTED AND INSTALLED AS PER THE APPROVED PLAN. THE CONTRACTOR OR OWNER MUST CONTACT THE CITY'S ENVIRONMENTAL INSPECTION STAFF AT (757) 933-2311 TO SCHEDULE A PRECONSTRUCTION MEETING 48 HOURS IN ADVANCE OF LAND DISTURBANCE.
4. ALL APPROPRIATE EROSION CONTROL MEASURES SUCH AS, BUT NOT LIMITED TO, TREE PROTECTION, SILT FENCE, CONSTRUCTION ENTRANCE, AND INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MUST BE REVIEWED AND APPROVED BY A CITY INSPECTOR BEFORE ANY CLEARING OPERATIONS BEGIN. THE CONTRACTOR OR OWNER MUST CONTACT THE CITY'S ENVIRONMENTAL INSPECTION STAFF AT (757) 933-2311 TO SCHEDULE ALL INSPECTIONS.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND LAND DISTURBANCE PERMIT MUST BE MAINTAINED AT THE SITE FOR THE DURATION OF ALL CONSTRUCTION AND LAND DISTURBING ACTIVITIES.
6. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL APPROVED MEASURES AS SHOWN ON THE APPROVED PLANS. ANY ADDITIONAL MEASURES DEEMED REQUIRED BY THE CITY, DUE TO FIELD CONDITIONS, SHALL BECOME PART OF THE EROSION AND SEDIMENT CONTROL PLAN FOR THE PROPERTY. ALL FIELD CHANGES MUST BE APPROVED BY EITHER THE CITY'S INSPECTOR OR ENGINEER PRIOR TO INSTALLATION. ALL APPROVED FIELD CHANGES SHALL BE SENT TO THE PLANNING DEPT. TO BE ATTACHED TO THE APPROVED PLAN.
7. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
8. THE CONTRACTOR MAY NOT CHANGE OR ALTER ANY OF THE APPROVED MEASURES WITHOUT FIRST NOTIFYING THE CITY'S INSPECTOR OR ENGINEER. FAILURE TO DO SO MAY RESULT IN A NOV, SWO, CIVIL PENALTIES, AND/OR REVOCATION OF THE LAND DISTURBANCE PERMIT.
9. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL MEASURES TO PREVENT SOIL FROM ERODING ONTO ADJACENT PROPERTY, STREETS, DRAINAGE SYSTEMS, AND WATERWAYS. ALL DEVICES SHALL BE CLEANED OF SEDIMENT, MUD, DEBRIS, AND OTHER ERODED MATERIAL DURING THE SITE CLEARING AND DRAINAGE DEVICES SHALL BE AT A MINIMUM EVERY TWO (2) WEEKS AND REQUIRED AFTER EVERY RUNOFF PRODUCING EVENT. ALL INSPECTION AND MAINTENANCE ACTIVITIES SHALL BE DOCUMENTED AND AVAILABLE FOR REVIEW AT THE CITY'S REQUEST.
10. TEMPORARY AND PERMANENT SEEDING OPERATIONS SHALL BE INITIATED WITHIN SEVEN (7) DAYS AFTER REACHING FINAL GRADE OR UPON SUSPENSION OF GRADING OPERATIONS FOR AN ANTICIPATED DURATION OF GREATER THAN FOURTEEN (14) DAYS OR UPON COMPLETION OF GRADING OPERATIONS FOR A SPECIFIC AREA.
11. EROSION AND CONTROL MEASURES SHALL BE KEPT IN PLACE FOR THE DURATION OF THE CLEARING AND CONSTRUCTION OPERATIONS AND AT A MAXIMUM FOR THE SPECIFIED TIME FOR EACH MEASURE AS IDENTIFIED IN THE VESC HANDBOOK, OR WHEN FULL STABILIZATION HAS OCCURRED FOR THE ENTIRE SITE. A FINAL INSPECTION BY THE CITY INSPECTOR SHALL DETERMINE WHEN THIS FACT IS ACCOMPLISHED AND ALL TEMPORARY MEASURES AND DEVICES CAN BE REMOVED.
12. THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST AND OTHER AIR POLLUTANTS, INCLUDING BUT NOT LIMITED TO USING WATER OR CHEMICALS, LIMITING THE NUMBER OF VEHICLES ALLOWED ON SITE, MINIMIZING THE OPERATING SPEED OF ALL VEHICLES, ETC. ALSO, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PUBLIC RIGHT-OF-WAY SHOULD SEDIMENT ACCUMULATE ON PAVED SURFACES.
13. CONTRACTOR SHALL SUBMIT A SEPARATE EROSION AND SEDIMENT CONTROL PLAN FOR ANY OFF-SITE AREAS ASSOCIATED WITH THE LAND DISTURBANCE AND SOIL REMOVAL IDENTIFIED HEREIN. A SEPARATE SUBMITTAL IS NOT NECESSARY FOR THE FOLLOWING SITUATIONS: A. NO MATERIAL WILL BE HAULED OR TRANSPORTED OFF-SITE AND APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AROUND ALL STOCKPILES AND STORAGE AREAS, OR B. ALL MATERIAL TO BE HAULED OR TRANSPORTED OFF-SITE WILL BE DEPOSITED AT A FEDERAL, STATE, AND LOCALLY APPROVED SITE. THE CONTRACTOR SHALL IDENTIFY ON THE PLANS WHAT DISPOSAL SITE WILL BE USED.
14. FOR ALL PROPOSED LAND DISTURBANCE ACTIVITIES THAT ARE ONE ACRE OR GREATER IN TOTAL AREA, A VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT MUST FIRST BE OBTAINED FROM THE CITY OF NEWPORT NEWS; THE "VSMP AUTHORITY". PRIOR TO ANY ACTUAL SOIL DISTURBANCE TAKING PLACE. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A NOTICE-OF-VIOLATION. IT IS THE OWNERS' AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CITY OF NEWPORT NEWS, DEPARTMENT OF PLANNING, FOR PERMIT DETAILS, APPLICATION, AND APPROVALS.
15. APPROVAL OF AN EROSION AND SEDIMENT CONTROL PLAN AND ACQUISITION OF A LAND DISTURBING PERMIT DOES NOT RELIEVE THE OWNER/DEVELOPER FROM OBTAINING APPLICABLE FEDERAL, STATE, AND OTHER LOCAL PERMITS, OR FROM COMPLYING WITH PERTINENT FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. 16. A CONSTRUCTION RECORD DRAWING FOR PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF NEWPORT NEWS FOR ACCEPTANCE. THE CONSTRUCTION RECORD DRAWING SHALL BE APPROPRIATELY SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF VIRGINIA CERTIFYING THAT THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLAN.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

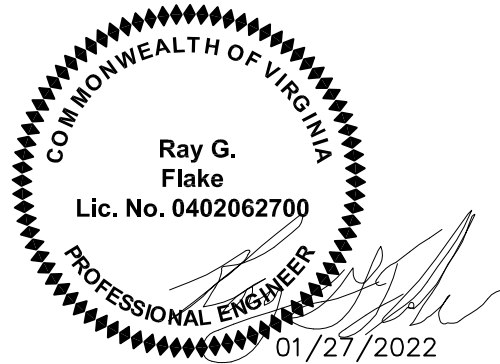
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164

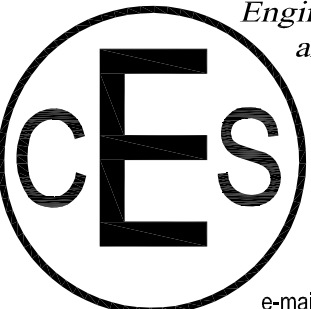
PANDA STORE #: D-8164

ARCH PROJECT #: XXXXX-XXX



Civil Engineering Services

Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilingineeringservices.net

PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

FINAL EROSION
CONTROL PLAN

C06.1

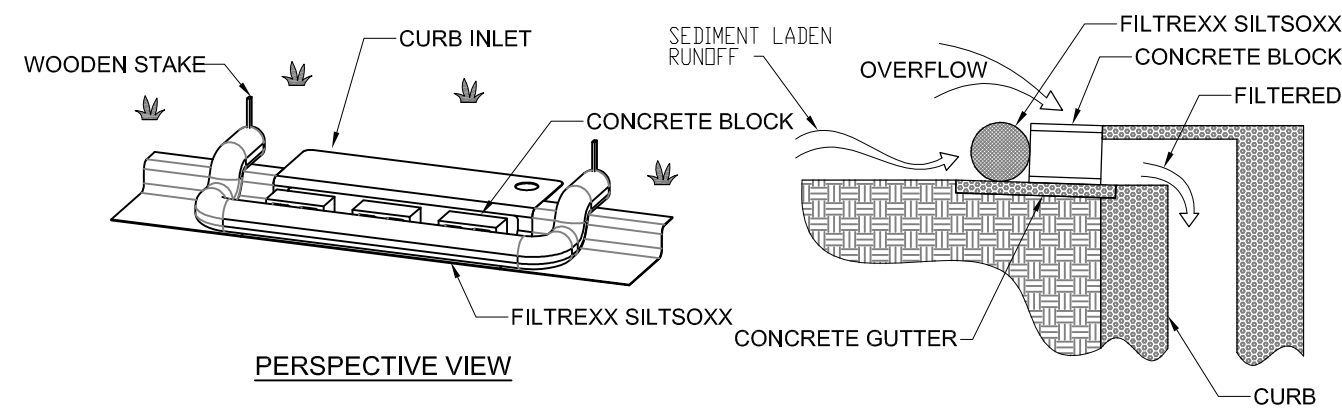
TRUE WARM & WELCOME 2300 R2



BM #2
TYPE: FIP 5/8" Rebar
NORTHING: 3537921.64
EASTING: 12082734.63
ELEVATION: 15.95

BM #1
TYPE: CP MAG
NORTHING: 3537960.86
EASTING: 12082580.68
ELEVATION: 18.42

FLOOD ZONE
By graphic plotting only, this property is in Zone "X Unshaded", "X Shaded" & "AE" of the Flood Insurance Rate Map, Community Panel No. 5101030139D, which bears an effective date of 12/09/2014 and is in a Special Flood Hazard Area, Zone "X-Unshaded" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levees from 100-year flood.

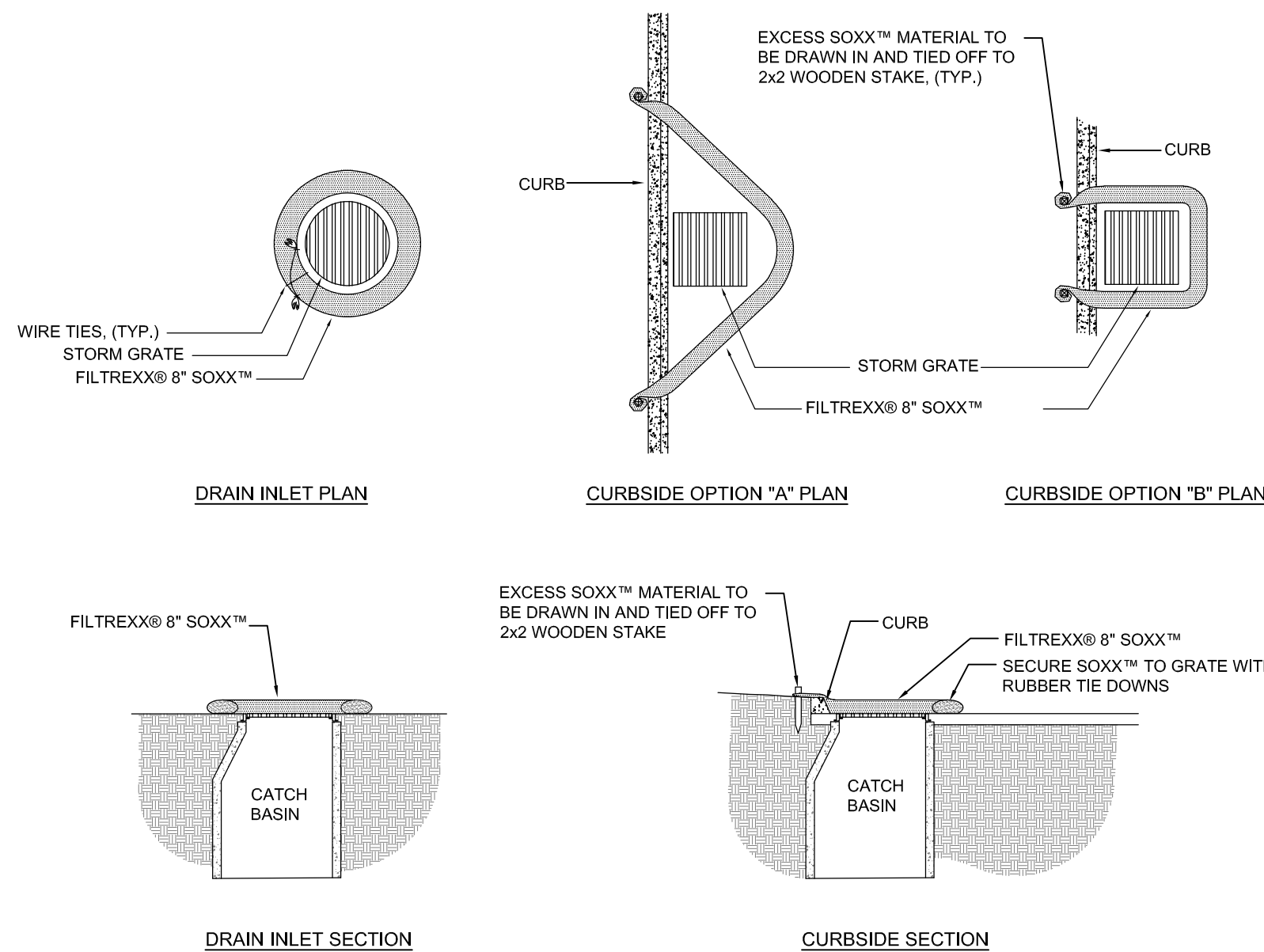


NOTES:

1. INSTALL FILTREXX SILTSOXX IN FRONT OF CURB OPENING TO A MINIMUM OF 12" BEYOND THE OPENING, EACH SIDE.
2. ANCHOR THE FILTREXX SILTSOXX BEHIND THE CURB WITH A WOODEN STAKE. STAKES SHALL BE ANCHORED A MINIMUM OF 12" INTO SOIL.
3. STANDARD INLET PROTECTION FOR CURB INLET PROTECTION AND CURB SEDIMENT CONTAINMENT WILL USE 8" DIAMETER INLET PROTECTION. DURING CURB INSTALLATION, INLET PROTECTION SHALL BE COMPACTED TO BE SLIGHTLY SHORTER THAN CURB HEIGHT.
4. IF INLET PROTECTION BECOMES CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE INLET PROTECTION MAY BE ACCEPTABLE TO KEEP THE AREA FROM FLOODING.
5. CURB AND DRAIN INLET PROTECTION SHALL BE POSITIONED SO AS TO PROVIDE A PERMEABLE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE INLET PROTECTION.
6. CONCRETE BLOCKS SHALL BE USED A SPACER TO KEEP THE FILTREXX SILTSOXX FROM BLOCKING THE CURB OPENING. CONCRETE BLOCKS SHALL BE USED AT BOTH ENDS OF THE OPENING AND EVERY 4'.

1 FILTREXX® SILTSOXX CURB INLET PROTECTION

NTS



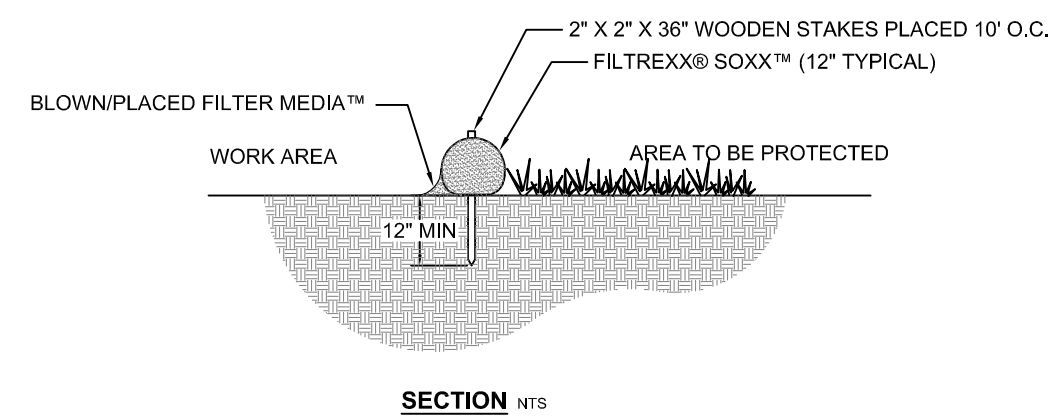
NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

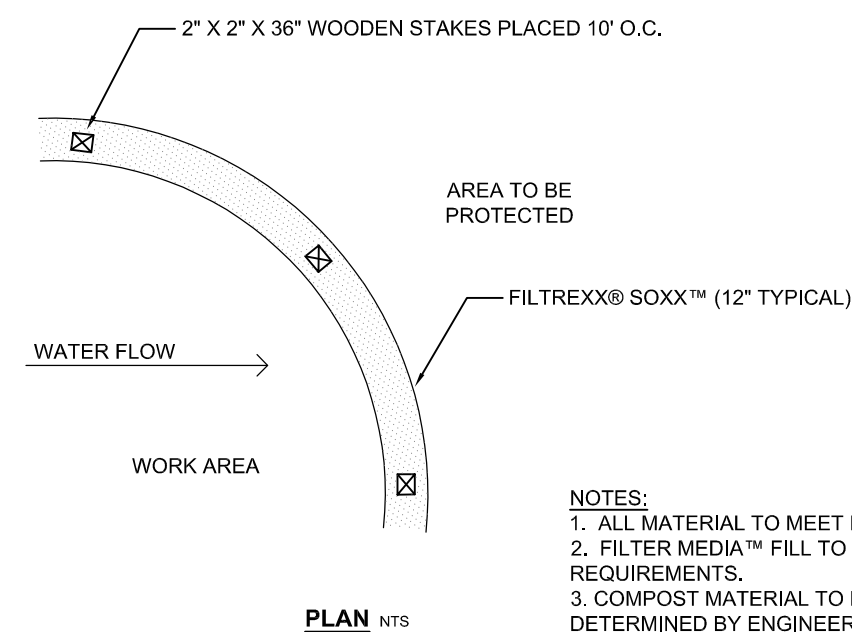
1 FILTREXX® INLET PROTECTION

NTS

NOTE: INSPECT INLET PROTECTION AT LEAST ONCE PER WEEK. REMOVE SEDIMENT WHEN IT REACHES HALF OF THE TOTAL HEIGHT OF THE INLET PROTECTION.



SECTION NTS

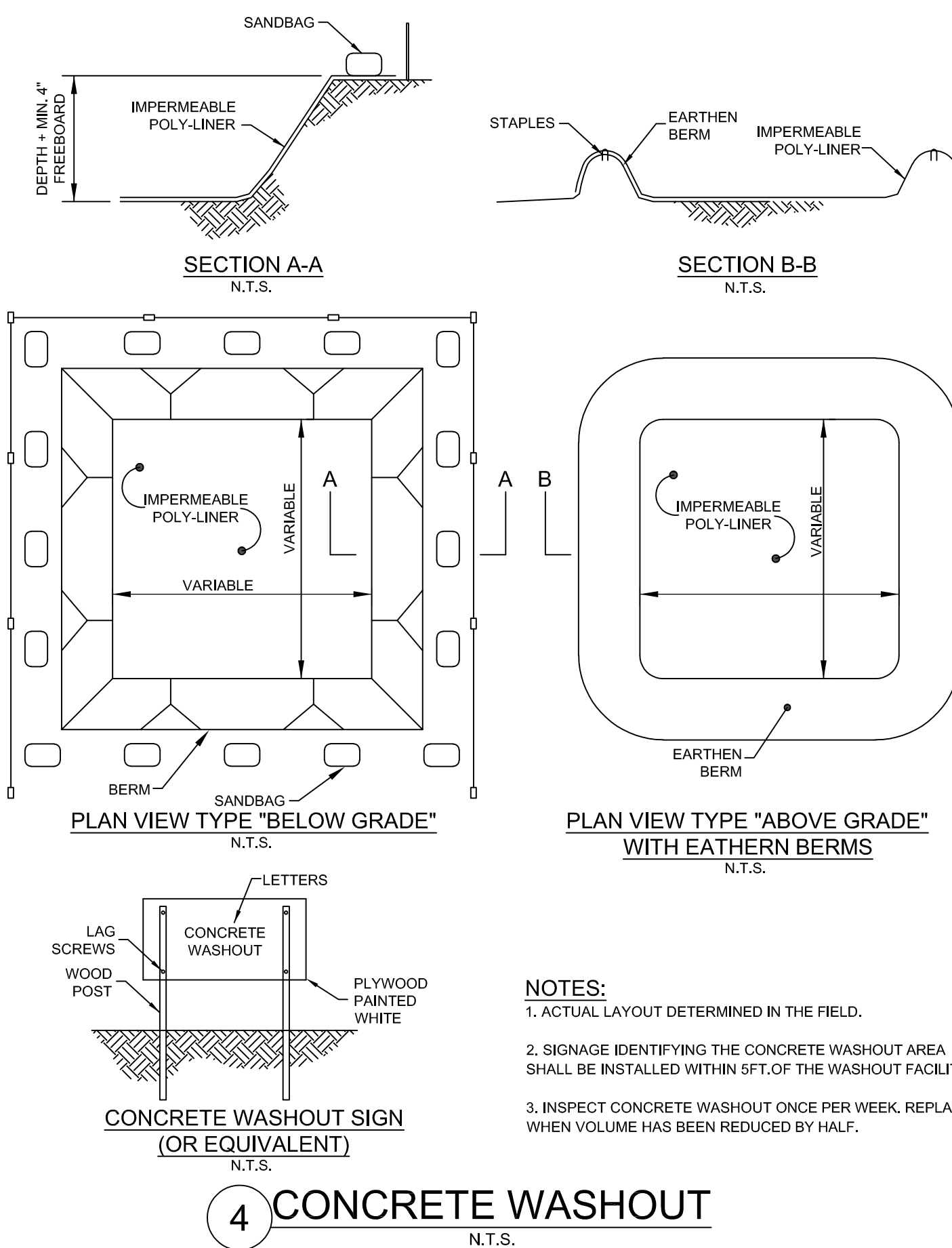


NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

3 FILTREXX® SEDIMENT CONTROL

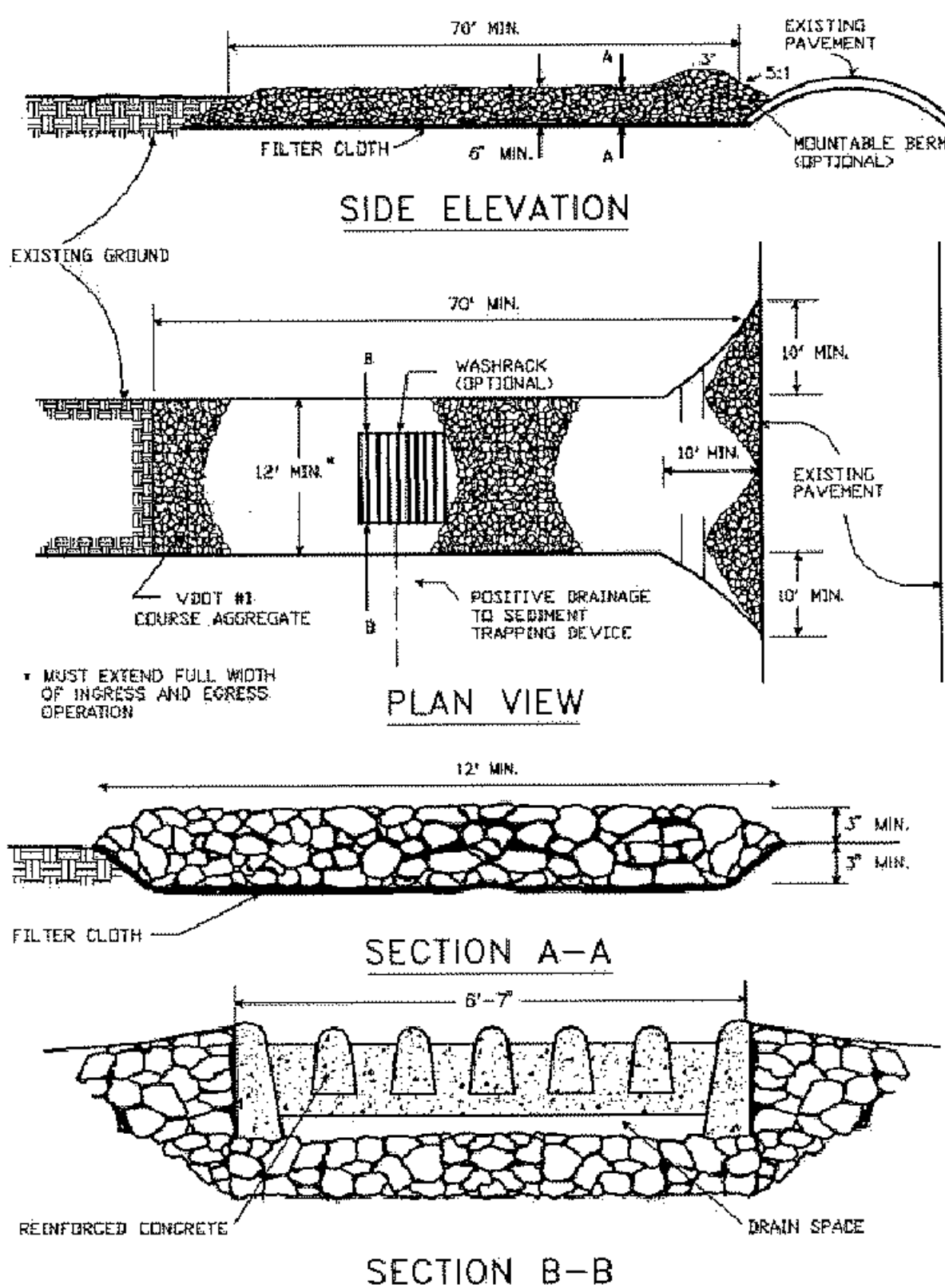
NTS



NOTES:

1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5FT. OF THE WASHOUT FACILITY.
3. INSPECT CONCRETE WASHOUT ONCE PER WEEK. REPLACE WHEN VOLUME HAS BEEN REDUCED BY HALF.

STONE CONSTRUCTION ENTRANCE



2

NOTE: INSPECT CONSTRUCTION ENTRANCE AND ADJACENT PUBLIC ROAD AREA ONCE PER WEEK. REPAIR OR REPLACE CONSTRUCTION ENTRANCE IF SEDIMENT HAS ACCUMULATED ON ROAD.

TABLE 3.02-A
CONSTRUCTION SPECIFICATIONS
FOR FILTER CLOTH UNDERLINER

Fabric Properties ¹	Light-Duty Entrance ² (Graded Subgrade)	Heavy-Duty Entrance ³ (Rough Graded)	Test Method
Grab Tensile Strength (lbs.)	200	220	ASTM D1682
Elongation at Failure (%)	50	220	ASTM D1682
Mullen Burst Strength (lbs.)	190	430	ASTM D3786
Puncture Strength (lbs.)	40	125	ASTM D751 (modified)
Equivalent Opening Size (mm)	40-80	40-80	U.S. Standard Sieve CW-02215

¹ Fabrics not meeting these specifications may be used only when design procedure and supporting documentation are supplied to determine aggregate depth and fabric strength.

² **Light Duty Entrance:** Sites that have been graded to subgrade and where most travel would be single axle vehicles and an occasional multi-axle truck. Examples of fabrics which can be used are: Trevira Spunbond 1115, Mirafi 100X, Typar 3401, or equivalent.

³ **Heavy Duty Entrance:** Sites with only rough grading and where most travel would be multi-axle vehicles. Examples of fabrics which can be used are: Trevira Spunbond 1135, Mirafi 600X, or equivalent.

TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA		Total lbs. Per Acre
Minimum Care Lawn		
- Commercial or Residential		
- Kentucky 31 or Turf-Type Tall Fescue	175-200 lbs.	
or		
- Common Bermudagrass **	75 lbs.	
High-Maintenance Lawn		
- Kentucky 31 or Turf-Type Tall Fescue	200-250 lbs.	
or		
- Hybrid Bermudagrass (seed) **	40 lbs. (unhulled) 50 lbs. (hulled)	
or		
- Hybrid Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.34)		
General Slope (3:1 or less)		
- Kentucky 31 Fescue	128 lbs.	
- Red Top Grass	2 lbs.	
- Seasonal Nurse Crop *	20 lbs.	
	150 lbs.	
Low Maintenance Slope (Steeper than 3:1)		
- Kentucky 31 Tall Fescue	93-108 lbs.	
- Common Bermudagrass **	0-15 lbs.	
- Red Top Grass	2 lbs.	
- Seasonal Nurse Crop *	20 lbs.	
- Sericea Lespedeza **	20 lbs.	
	150 lbs.	
* Use seasonal nurse crop in accordance with seeding dates as stated below:		
February, March through April	Annual Rye	
May 1st through August	Foxtail Millet	
September, October through November 15th	Annual Rye	
November 16th through January	Winter Rye	
** May through October, use hulled seed. All other seeding periods, use unhulled seed. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.		

PERMANENT SEEDING TABLE

TABLE 3.31-B ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS		
"QUICK REFERENCE FOR ALL REGIONS"		
Planting Dates	Species	Rate (lbs./acre)
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (<i>Lolium multi-florum</i>) & Cereal (Winter) Rye (<i>Secale cereale</i>)	50 - 100
Feb. 16 - Apr. 30	Annual Ryegrass (<i>Lolium multi-florum</i>)	60 - 100
May 1 - Aug 31	German Millet (<i>Sisilaria Italica</i>)	50

Source: Va. DSWC

TEMPORARY SEEDING TABLE



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

ISSUE DATE:

1	PERMIT/BID SET	02-12-21
2	CITY COMMENTS	08-17-21
3	CITY COMMENTS	10-22-21
4	CITY COMMENTS	12-15-21
5	CITY COMMENTS	01-27-22
	ISSUE FOR BID (DT)	02-04-22

DRAWN BY: LEB

PANDA PROJECT #: S8-21-D8164

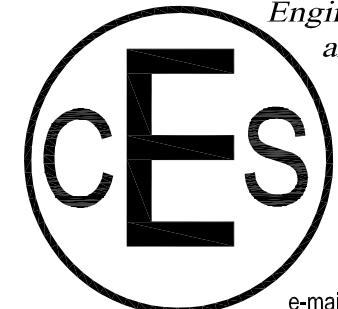
PANDA STORE #: D-8164

ARCH PROJECT #: XXXX-XXX



Civil Engineering Services

Engineering, Land Planning, and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilingineeringservices.net

PANDA EXPRESS

TRUE WARM AND WELCOME
6104 JEFFERSON AVENUE
NEWPORT NEWS, VA 23605

EROSION CONTROL PLAN DETAILS

C06.2

TRUE WARM & WELCOME 2300 R2