

SBUX SHELL
7439 RICHLANDS HIGHWAY
RICHLANDS, NC 28574



PERMIT SET

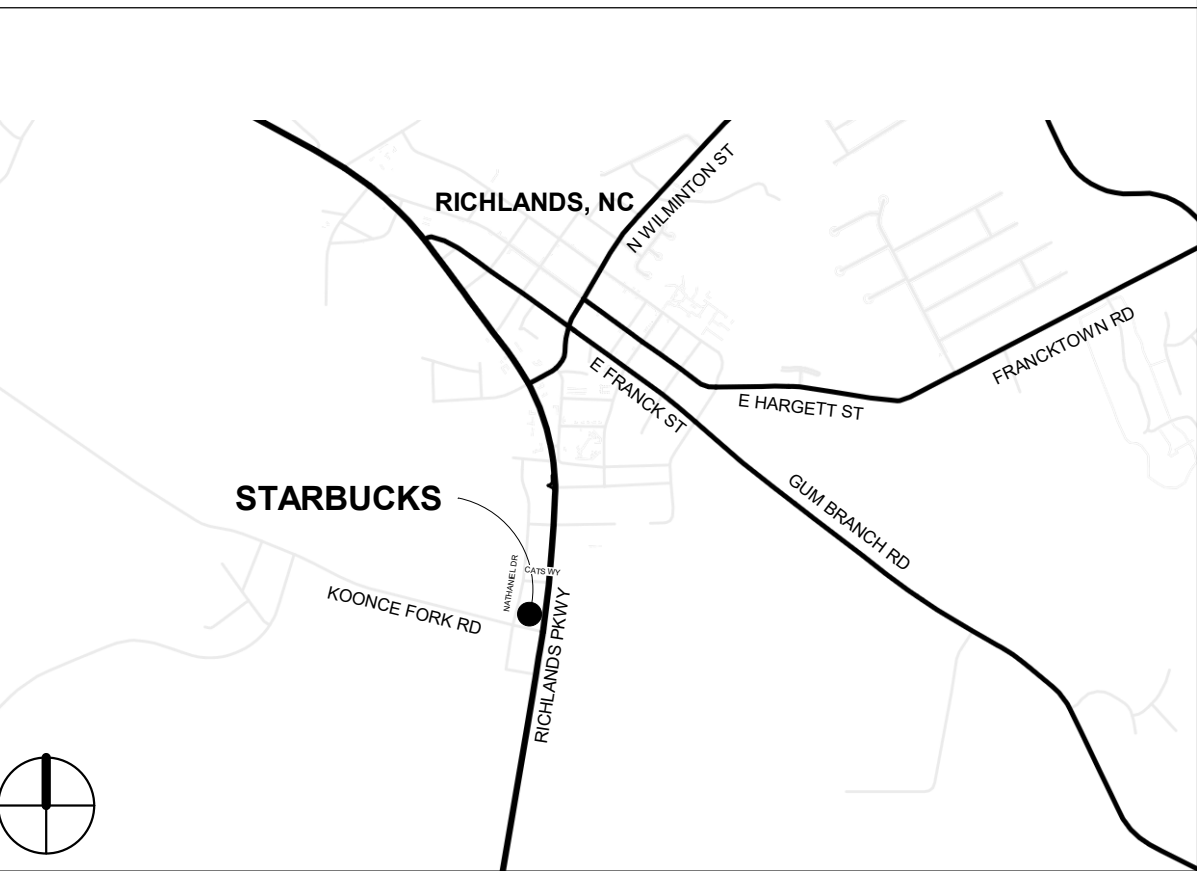
PROJECT NUMBER: 23359

11/02/23

PROJECT DIRECTORY

CLIENT	ARCHITECT	STRUCTURAL	MP&E	CIVIL
MOUNT OAK CAPITAL, LLC	MJM ARCHITECTS	GSE CONSULTING ENGINEERS	BENCHMARK GROUP	THE NAU COMPANY
500 6TH STREET SAN ANTONIO, TX 78215	2948 SIDCO DR. NASHVILLE, TN 37204	176 THOMPSON LANE SUITE 200 NASHVILLE, TN 37211	1805 N. 2ND STREET ROGERS, AR 72756	PO BOX 810 ROLESVILLE, NC 27571
MIKE MCGEE (720) 393-9266 mike@mountoakcapital.com	DERRON SLUSER JAMES THOMAS (615) 244-8170 j.thomas@mjmach.com d.sluser@mjmach.com	AHMAD OMAR (615) 723-0888 a.omar@slatedg.com	BRIAN GOINES (479) 636-5004 bcg@teamofchoice.com	JEREMY J. BECKETT (919) 395-2775 jbeckett@thenauco.com


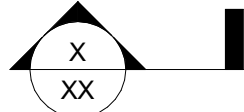
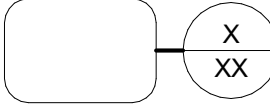



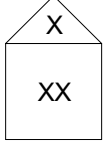
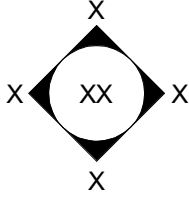



VICINITY MAP



GENERAL NOTES

1. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. HE SHALL CONFIRM WORK SHOWN IS VISIBLE. ALL CONTRACTS, OMISSIONS, ETC. SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE & FEDERAL CODES AND ORDINANCES.
3. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE OWNER'S REPRESENTATIVE BEFORE CONTINUING WITH CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF GYP BD. FINISH OR FACE OF BLOCK UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL TRADES. CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS AND DIMENSIONS OF EQUIPMENT PRIOR TO ENCLOSING AREA WHERE EQUIPMENT IS TO BE PLACED, INCLUDING CASEWORK SIZES. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, FIRE ALARM, PLUMBING, SIGNAGE (WHERE APPLICABLE) MECHANICAL & ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF THOSE SYSTEMS UNLESS NOTED OTHERWISE.
5. CONCEAL ALL PIPING INSIDE WALL, WHERE PIPING IS TOO LARGE, WALLS ARE TO BE FURRED OUT TO THE MINIMUM DIMENSION TO CONCEAL PIPING.
6. ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC. IN STUD WALLS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN WALL RATING. CONTRACTOR TO VERIFY WALL THICKNESSES REQUIRED FOR ALL ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC.
7. PROVIDE DOUBLE STUDS & BLOCKING AS REQUIRED TO SUPPORT EQUIPMENT AND/OR MISCELLANEOUS ITEMS, - TYP. CASEWORK, GRAB BARS, AWNINGS, ETC.
8. FIREPROOFING, SEALANTS & DAMPERS MAY NOT BE SHOWN ON SOME DETAILS FOR CLARITY. HOWEVER, ALL ASSEMBLIES MUST BE INSTALLED AS REQUIRED TO MAINTAIN RATING INDICATED ON PLANS. ALL PENETRATION SEALANTS OR ASSEMBLIES SHALL BE U/L LISTED (OR EQUIVALENT) FOR INSTALLATION WITHIN THE RATED WALL ASSEMBLY NOTED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE OWNER'S REPRESENTATIVE BEFORE CONTINUING CONSTRUCTION.
9. WHERE WALL RATINGS APPEAR ON BOTH SIDES OF DOORS AND OR WINDOWS THE WALL TYPE SHOWN SHALL CONTINUE ABOVE THE FRAME TO THE CEILING OR STRUCTURE AS APPLICABLE.
10. THE HINGE SIDE OF ALL INTERIOR DOOR FRAMES SHALL BE PLACED 4" FROM THE ADJACENT INTERIOR WALL UNLESS NOTED OTHERWISE.
11. GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS IN GOOD CONDITION TO NOTE & DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET OF PLANS SHALL BE RETURNED TO THE OWNER AS PART OF THE REQUIRED CLOSE OUT PACKAGE.
12. THE SPECIFICATIONS ARE INCLUDED AS PART OF THE CONTRACT DOCUMENTS CONTAINS A GENERAL SPECIFICATION FOR ALL OF THE WORK ASSOCIATED WITH THE CONSTRUCTION.
13. ALL SOIL UNDER FOOTINGS TO BE TREATED WITH TERMICIDE BEFORE INSTALLATION - SEE SPECIFICATIONS.
14. DEFERRED SUBMITTALS
THE FOLLOWING ITEMS WILL BE SUBMITTED AS DEFERRED SUBMITTALS BY THE APPROPRIATE INSTALLING SUBCONTRACTOR OR VENDOR. FOR EACH DEFERRED SUBMITTAL ITEM, THE SUBCONTRACTOR OR VENDOR SHALL FIRST SUBMIT SIGNED AND SEALED ENGINEERED DRAWINGS AND CALCULATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL OR FIRE MARSHAL. ARCHITECT'S REVIEW WILL BE FOR GENERAL CONFORMANCE WITH THE BUILDING DESIGN ONLY. SUBCONTRACTOR OR VENDOR SHALL BE RESPONSIBLE FOR DETERMINING SUBMITTAL REQUIREMENTS AND PAYMENT OF ALL FEES FOR SUBMITTALS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE TIMING OF SUBMITTALS SO AS TO NOT INTERFERE WITH OVERALL CONSTRUCTION SCHEDULE, ALLOWING TIME FOR APPROPRIATE REVIEWS FOR ARCHITECT AND BUILDING OFFICIAL OR FIRE MARSHAL. NO DELAYS OR TIME EXTENSIONS WILL BE ALLOWED FOR FAILURE TO ALLOW APPROPRIATE TIME FOR REVIEW.
 - A. TENANT INFILL DESIGN
 - B. EXTERIOR WALL SIGNAGE
 - C. CIVIL DESIGN

SYMBOLS

ARCHITECTURAL NORTH	
SECTION CUT	
ROOM NAME ROOM NUMBER ROOM AREA	ROOM [XXX] XXX SF
LARGE SCALE DETAIL	
REVISION	
WALL TYPE	
BENCH MARK	
EXTERIOR ELEVATION	
INTERIOR ELEVATION	
WINDOW NUMBER	
DOOR NUMBER	
TOILET ACCESSORIES	

ABBREVIATIONS

AB	ANCHOR BOLT	FOF	FACE OF FRAMING	OPNG	OPENING
AC	ACOUSTICAL	FOM	FACE OF MASONRY	OPP	OPPOSITE
AF	ABOVE FINISH FLOOR	FD	FLOOR DRAIN	P	PAINT
ALT	ALTERNATE	F/O	FACE OF	PC	PIECE
ALUM	ALUMINUM	FIN	FINISH	PL, P	PLATE
APPROX	APPROXIMATELY	FL	FLOOR	PLAS	PLASTER, PLASTIC
ARCH	ARCHITECT/ARCHITECTURAL	FDN	FOUNDATION	PLYWD	PLYWOOD
BD	BOARD	FS	FLOOR SINK	PTD	PAINTED
BLDG	BUILDING	FT	FOOT, FEET	QUAN	QUANTITY
BLK	BLOCK	FTG	FOOTING	R	RADIUS; RISER
BLKG	BLOCKING	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN
BM	BEAM	GA	GAUGE; GYPSSUM ASSOC.	REINF	REINFORCING
BOS	BOTTOM OF STEEL	GALV	GALVANIZED	REQD	REQUIRED
BRG	BEARING	GEN	GENERAL	RESIL	RESILIENT
BS	BOTH SIDES	GL	GLASS/GLAZING GLUE	REV	REVISION, REVERSE
BTM	BOTTOM	GWB	GYPSSUM BOARD	RM	ROOM
BTB	BUILD TO SUIT	H	HIGH	RO	ROUGH OPENING
BUR	BUILT UP ROOF	HB	HOSE BIBB	ROOMTS	REQUIREMENTS
CI	CAST IRON	HC	HANDICAPPED	RTS	REHAB TO SUIT
CJ	CONTROL JOINT	HDW	HARDWARE	RTU	ROOF TOP UNIT
CT	CERAMIC TILE	HM	HOLLOW METAL	RWL	RAIN WATER LEADER
CAB	CABINET	HORIZ	HORIZONTAL	SCHED	SCHEDULE
CEM	CEMENT(ITIOUS)	HP	HIGH POINT	SD	SELF DEVELOP
CG	CORNER GUARD	HT	HEIGHT	SF	SQUARE FEET, STOREFRONT
CL	CLEAR	HVAC	HEATING VENTILATING & AIR	SHT	SHEET
CL, C/L	CLEARANCE	COND	CONDITIONING	SIMILAR	SIMILAR
CLG	CEILING	ID	INSIDE DIAMETER	SMS	SHEET METAL SCREW
CMU	CONCRETE MASONRY UNIT	INCL	INCLUDE(ING)	SPECS	SPECIFICATIONS
COL	CLEAN OUT	INSUL	INSULATION	SQ	SQUARE
CO	COLUMN	INT	INTERIOR, INTERMEDIATE	SQ FT	SQUARE FOOT/FEET
CONC	CONCRETE	JOINT	JOINT	SS	SERVICE SINK, STAINLESS STEEL
CONST	CONSTRUCTION	LAM	LAMINATED	STD	STANDARD
CONT	CONTINUOUS	LF	LINEAR FEET	STL	STEEL
CONTR	CONTRACTOR	LL	LONG, LARGE	STOR	STORAGE
CPT	CARPET	LL	LANDLORD	STRUCT	STRUCTURAL
CR	CARRIALL CHAIRRAIL	LLH	LONG LEG HORIZONTAL	SUSP	SUSPENDED
CSK	COUNTERSUNK	LLV	LONG LEG VERTICAL	T	TREAD
D	DEPTH; DEEP	LP	LOW POINT	T/B	TOP & BOTTOM
DBL	DOUBLE	MAS	MASONRY	TEL	TELEPHONE
DEMO	DEMOLITION	MATL	MATERIAL	TOP OF	TOP OF
DET	DETAIL	MAX	MAXIMUM	TO	TAKE OVER
DIA	DIAMETER	MECH	MECHANICAL	TOM	TOP OF MASONRY
DN	DOWN	MED	MEDIUM	TOS	TOP OF STEEL
DM	DIMENSION	MFR	MANUFACTURER	TH	THICKNESS
DO	DOOR OPENING	MIN	MINIMUM	TYP	TYPICAL
DOS	DOWNSPOUT	MISC	MISCELLANEOUS	UL	UNDERWRITERS LABORATORY
DWG	DRAWING	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
E	EAST	MRGB	MOISTURE RESISTANT	V	VOLT
EA	EACH		GYPSSUM BOARD	VCT	VINYL COMPOSITION TILE
EB	EXPANSION BOLT	MTD	MOUNTED	VIF	VERIFY IN FIELD
EIFS	EXT. INSULATION FINISH SYS.	MTL	METAL	VERT	VERTICAL
EJ	EXPANSION JOINT	N	NORTH	W	WIDTH; WASTE; WEST; WIRE
EL	ELEVATION (FLOOR)	NIC	NOT IN CONTRACT	W/	WITH
ELEV	ELEVATION	NO, #	NUMBER, #	WC	WATER CLOSET
ELEC	ELECTRICAL	NTS	NOT TO SCALE	WD	WOOD
EQ	EQUAL	O/A	OVERALL	WT	WEIGHT
EQUIP	EQUIPMENT	OFD	OVERFLOW DRAIN	W/H	WATER HEATER
EW	EACH WAY	O/H	OVERHEAD	W/	WITHIN
EWG	ELECTRIC WATER COOLER	OUT TO	OUT TO OUT	W/O	WITHOUT
EXIST	EXISTING	OC	ON CENTER	WWF	WELDED WIRE FABRIC
EXP	EXPOSED, EXPANSION	OD	OUTSIDE DIAMETER		
EXT	EXTERIOR	OD	OFFICE DEPOT/OVERFLOW DRAIN		

INDEX OF DRAWINGS

REVISION	REVISION DATE	SHEET	SHEET TITLE
GENERAL		G001	GENERAL INFORMATION
		G002	CODE ANALYSIS
		G003	ADA DETAILS
ARCHITECTURAL		A001	ARCHITECTURAL SITE PLAN
		A002	ARCHITECTURAL SITE DETAILS
		A003	ARCHITECTURAL SITE DETAILS
		A004	ARCHITECTURAL SITE DETAILS
		A005	ARCHITECTURAL SITE DETAILS
		A006	ARCHITECTURAL SITE DETAILS
		A101	BUILDING FLOOR PLAN
		A102	BUILDING REFLECTED CEILING PLAN
		A103	BUILDING ROOF PLAN
		A201	EXTERIOR ELEVATIONS
		A202	EXTERIOR ELEVATIONS
		A301	WALL SECTIONS
		A302	WALL SECTIONS
		A501	PLAN DETAILS
		A502	ROOF DETAILS
		A503	SECTION DETAILS
		A601	WINDOW & DOOR SCHEDULES & DETAILS
		A602	STOREFRONT ELEVATIONS & DETAILS
STRUCTURAL		S001	STRUCTURAL GENERAL NOTES
		S101	FOUNDATION PLAN
		S102	SHEARWALL AND HEADER FRAMING PLAN
		S103	ROOF FRAMING PLAN
		S201	FOUNDATION SECTIONS
		S202	FRAMING SECTIONS
		S301	FOUNDATION AND FRAMING DETAILS
		S302	SITE DETAILS
		S303	SITE DETAILS
		S304	SITE DETAILS
		S401	STEEL FRAMING DETAILS
ELECTRICAL		E101	POWER PLAN
		E102	SITE POWER PLAN
		E201	LIGHTING PLAN
		E202	ENERGY COMPLIANCE
		E301	PANEL SCHEDULES & ONE-LINE DIAGRAM
		E401	EMS, FULL LIGHTING
		E501	ELECTRICAL SPECIFICATIONS
		E502	ELECTRICAL SPECIFICATIONS
MECHANICAL & PLUMBING		M101	MECHANICAL DESIGN PLAN
		M102	ENERGY COMPLIANCE
		M103	ENERGY COMPLIANCE
		M201	MECHANICAL SCHEDULES & DETAILS
		MP101	MECHANICAL & PLUMBING SPECIFICATIONS
		P101	PLUMBING PLAN
		P201	PLUMBING DETAILS



CIVIL UNDER
SEPARATE COVER

PROJECT SUMMARY

LOCATION:

7439 RICHLANDS HIGHWAY
RICHLANDS, NC 28574
ONSLOW COUNTY

APPLICABLE BUILDING CODES:

A. 2018 NC STATE BUILDING CODE
B. 2018 NC STATE PLUMBING CODE
C. 2018 NC STATE MECHANICAL CODE
D. 2018 NC STATE ELECTRICAL CODE
E. 2018 NC STATE FUEL GAS CODE
F. 2018 NC STATE FIRE PREVENTION CODE
G. 2018 NC STATE ENERGY CONSERVATION CODE
H. 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
I. 2013 ASHRAE 90.1

ZONING CLASSIFICATION:

A. C-2 COMMERCIAL DISTRICT

BUILDING INFORMATION:

A. OCCUPANCY TYPE:	A-2
B. BUILDING AREA:	2,450 SF
C. TENANT AREA:	2,450 SF
D. CONSTRUCTION TYPE:	VB
E. FIRE SPRINKLER:	NO

SCOPE OF WORK:

A. SHELL BUILDING FOR FUTURE TENANT. TENANT INFILL, SIGNAGE, OCCUPANT LOAD, ETC. TO BE REVIEWED UNDER SEPARATE PERMIT.



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ARCHITECTS

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**MOUNT OAK
CAPITAL, LLC**

500 6TH STREET
SAN ANTONIO, TX 78215

SBUX SHELL

7439 RICHLANDS HIGHWAY
RICHLANDS, NC 28574

PERMIT SET

11/02/23

23359

DATE

[illegible]

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GENERAL INFORMATION

G001

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Mount Oak Capital - Richlands, NC - SBUX Shell
Address: 503 West Third St, Pembroke, NC Zip Code: 28372
Owner/Authorized Agent: Mike Mcgee Phone #: (729) 393-9266 E-Mail: mike@mountoakcapital.com
Owned By: Private
Code Enforcement Jurisdiction: County

CONTACT:				
DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #
Architectural	MM Architects	Steve Maher	8947	(615) 244-8170
Civil	The NAI Company	Jeremy Beckett	34411	(919) 395-2775
Electrical	Benchmark Group	Joshua Clyde	056972	(479) 636-5004
Fire Alarm	Benchmark Group	Joshua Clyde	054829	(479) 636-5004
Plumbing	Benchmark Group	Joshua Clyde	054829	(479) 636-5004
Mechanical	Benchmark Group	Joshua Clyde	054829	(479) 636-5004
Sprinkler/Standpipe	Benchmark Group	Joshua Clyde	054829	(479) 636-5004
Structural	Slate Design Group	S Lane Sesi	45171	(615) 723-0888
Retaining Walls >5' High				
Other				

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building

2018 NC EXISTING BUILDING CODE: N/A
CONSTRUCTED: (date) N/A
RENOVATED: (date) N/A
CURRENT OCCUPANCY(S) (Ch. 3): N/A
PROPOSED OCCUPANCY(S) (Ch. 3): N/A
RISK CATEGORY (Table 1604.5): Current: N/A Proposed: N/A

BASIC BUILDING DATA
Construction Type: V-B
Sprinklers: No
Standpipes: No
Primary Fire District: No
Flood Hazard Area: No
Special Inspections Required: Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
1 st Floor			
2 nd Floor			
Mezzanine			
1 st Floor		2,450	
Basement			
TOTAL		2,450	

2018 NC Administrative Code and Policies

Revised 6/15/2020

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
>30	Unprotected, Non-sprinklered	No Limit	N/A

LIFE SAFETY SYSTEM REQUIREMENTS	
Emergency Lighting:	Yes
Exit Signs:	Yes
Fire Alarm:	Yes
Smoke Detection Systems:	Yes
Carbon Monoxide Detection:	No

LIFE SAFETY PLAN REQUIREMENTS	
Life Safety Plan Sheet #: G002	
<input type="checkbox"/> Fire and/or smoke rated wall locations (Chapter 7)	
<input checked="" type="checkbox"/> Assumed and real property line locations (if not on the site plan)	
<input checked="" type="checkbox"/> Exterior wall opening area with respect to distance to assumed property lines (705.8)	
<input type="checkbox"/> Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)	
<input type="checkbox"/> Occupant loads for each area	
<input checked="" type="checkbox"/> Exit sign locations (1013)	
<input type="checkbox"/> Exit access travel distances (1017)	
<input type="checkbox"/> Common paths of travel distances (Tables 1006.2.1 & 1006.3.2(1))	
<input type="checkbox"/> Dead end lengths (1029.4)	
<input checked="" type="checkbox"/> Clear exit widths for each exit door	
<input checked="" type="checkbox"/> Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)	
<input checked="" type="checkbox"/> Actual occupant load for each exit door	
<input type="checkbox"/> A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation	
<input type="checkbox"/> Location of doors with panic hardware (1010.1.10)	
<input type="checkbox"/> Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)	
<input type="checkbox"/> Location of doors with electromagnetic egress locks (1010.1.9.9)	
<input type="checkbox"/> Location of doors equipped with hold-open devices	
<input type="checkbox"/> Location of emergency escape windows (1030)	
<input type="checkbox"/> The square footage of each fire area (202)	
<input type="checkbox"/> The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)	
<input checked="" type="checkbox"/> Note any code exceptions or table notes that may have been utilized regarding the items above	

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ALLOWABLE AREA					
Primary Occupancy Classification(s): Assembly - A-2					
Accessory Occupancy Classification(s): None					
Incidental Uses (Table 509): None					
Special Uses (Chapter 4 - List Code Sections): None					
Special Provisions (Chapter 5 - List Code Sections): None					
Mixed Occupancy: No Separation: Select one Exception: _____					
Non-Separated Use (508.3)					
Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1 Allowable Area of Occupancy A					
2450/6000 + 0/0 = 408 ≤ 100					
STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ¹ AREA	(C) AREA FOR FRONTAGE INCREASE ^{2,3}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	Restaurant	2,450	6,000	360	6,360

Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = 72 (R/F)
b. Total Building Perimeter = 234 ft (P)
c. Ratio (F/P) = 0.31 (F/P)
d. W = Minimum width of public way = 30 (W)
e. Percent of frontage increase $I_f = 100(F/P - 0.25) \times W/30 = 6\%$

¹ Unlimited area applicable under conditions of Section 507.
² Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
³ The maximum area of open parking garages must comply with Table 406.5.4.
⁴ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	40	18	
Building Height in Stories (Table 504.4) ³	2	1	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
² The maximum height of air traffic control towers must comply with Table 412.3.1.
³ The maximum height of open parking garages must comply with Table 406.5.4.

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ACCESSIBLE DWELLING UNITS (SECTION 1107)							
UNIT CLASSIFICATION	TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYP A UNITS REQUIRED	TYP B UNITS REQUIRED	TYP B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING (SECTION 1109)				
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	96" SPACES	132" SPACES
1.27 Acres	32	32	2	0
TOTAL		32		2

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)									
USE	WATER CLOSETS	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS	WATER CLOSETS	URINALS	LAVATORIES	SHOWERS
SPACE	EXIST'G	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NEW	2	2	2	0	1				
EXIST'G	2	2	2	0	1				

SPECIAL APPROVALS	
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)	

2018 NC Administrative Code and Policies

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FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATIO	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, joists	>30						
Bearing Walls	>30	0					
Exterior	>30	0					
North	>30	0					
East	>30	0					
West	>30	0					
South	>30	0					
Interior	>30	0					
Nonbearing Walls and Partitions	>30	0					
Exterior walls	>30	0					
North	>30	0					
East	>30	0					
West	>30	0					
South	>30	0					
Interior walls and partitions	>30	0					
Door Construction	>30	0					
Including supporting beams and joists	>30	0					
Door Ceiling Assembly	>30	0					
Columns Supporting Floor	>30	0					
Roof Construction, including supporting beams and joists	>30	0					
Roof Ceiling Assembly	>30	0					
Columns Supporting Roof	>30	0					
Shall Enclosure - Exit	N/A						
Shall Enclosure - Other	N/A						
Curbside Separation	N/A						
Occupancy Fire Barrier Separation	N/A						
Party Fire Wall Separation	N/A						
Smoke Barrier Separation	N/A						
Smoke Partition	N/A						
Tenant/Dwelling Unit	N/A						
Shooting Unit Separation	N/A						
Incidental Use Separation	N/A						

* Indicate section number permitting reduction

2018 NC Administrative Code and Policies

Revised 6/15/2020

ENERGY SUMMARY	
ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.	
Existing building envelope complies with code: No	
Exempt Building: No Provide code or statutory reference:	
Climate Zone: 3A	
Method of Compliance: ASHRAE 90.1 - Performance (If "Other" specify source here)	
THERMAL ENVELOPE (Prescriptive method only)	
Roof/Ceiling Assembly (each assembly) Description of assembly: _____ U-Value of total assembly: _____ R-Value of insulation: _____ Skylights in each assembly: _____ U-Value of skylight: _____ total square footage of skylights in each assembly: _____	
Exterior Walls (each assembly) Description of assembly: _____ U-Value of total assembly: _____ R-Value of insulation: _____ Openings (windows or doors with glazing): _____ U-Value of assembly: _____ Solar heat gain coefficient: _____ projection factor: _____ Door R-Values: _____	
Walls below grade (each assembly) Description of assembly: _____ U-Value of total assembly: _____ R-Value of insulation: _____	
Floors over unconditioned space (each assembly) Description of assembly: _____ U-Value of total assembly: _____ R-Value of insulation: _____	
Floors slab on grade Description of assembly: _____ U-Value of total assembly: _____ R-Value of insulation: _____ Horizontal/vertical requirement: _____ slab heated: _____	

2018 NC Administrative Code and Policies

Revised 6/15/2020

CODE ANALYSIS - 2018 NC STATE BUILDING CODE

I. USE AND OCCUPANCY:
A. MAIN USE:
A2 - ASSEMBLY - RESTAURANT (NCBC 303.3)

II. BUILDING AREA:
A. PROPOSED BUILDING AREA:
MAIN FLOOR 2,450 SF OVERALL

III. GENERAL BUILDING AND USE LIMITATIONS:
A. CONSTRUCTION TYPE: VB (NCBC 602.5), NON-SPRINKLERED

B. BUILDING HEIGHT (NCBC - TABLE 504.3)
ALLOWABLE: 2 STORIES, 40 FEET
ACTUAL: 1 STORY, 18'-0"

C. BUILDING AREA (NCBC - 506.2)
ALLOWABLE: 6,000 SF
ACTUAL: 2,450 SF

D. FIRE RESISTIVE REQUIREMENTS (NCBC TABLE 601): NO FIRE SEPARATION REQUIRED FOR BUILDING ELEMENTS.

E. FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS
BASED ON FIRE SEPARATION DISTANCE (NCBC TABLE 602): GREATER THAN 30' SEPARATION DISTANCE = 0 HOUR
F. NCBC TABLE 705.8: AREA OF EXTERIOR WALL OPENINGS UNLIMITED WITH SEPARATION GREATER THAN 30'.

IV. FIRE PROTECTION SYSTEMS:
A. BUILDING IS NON-SPRINKLERED

B. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED (NCBC 906).

C. FIRE ALARM SYSTEM NOT REQUIRED (NCBC 907.2.1).

V. MEANS OF EGRESS:
A. GENERAL MEANS OF EGRESS (NCBC 1003)

(OCCUPANT LOAD TO BE DETERMINED UNDER TENANT INFILL DRAWINGS, OCCUPANT LOAD NOT TO EXCEED 99 OCCUPANTS)

B. MINIMUM NUMBER OF EXITS REQUIRED: (NCBC 1006)
1. 2 EXITS MIN.
2. 60% OF PUBLIC ENTRANCES MUST BE ACCESSIBLE (NCBC 1105.1)

C. NUMBER OF EXITS PROVIDED:
1. 3 TOTAL

D. MINIMUM EXIT WIDTH REQUIRED (NCBC 1005):
1. DOORS: 0.2 INCHES PER PERSON (NCBC 1005.3.2)
99 OCCUPANTS X 0.2 = 19.8" OF DOOR WIDTH REQUIRED.

E. EXIT WIDTH PROVIDED:
1. 142" TOTAL WIDTH PROVIDED.

F. SEPARATION OF EXITS (NCBC 1007.1.1)
1. AT LEAST 2 EXITS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA BEING SERVED.

G. MAXIMUM TRAVEL DISTANCE (NCBC TABLE 1006.2.1)
1. ASSEMBLY = 200 FEET

H. DEAD END CORRIDORS (NCBC 1020.4) SHALL NOT EXCEED 20 FEET.
1. OCCUPANT LOAD LESS THAN 50 = 36" MINIMUM WIDTH

I. MINIMUM CORRIDOR WIDTH SHALL NOT BE LESS THAN THAT SPECIFIED IN NCBC TABLE 1020.2

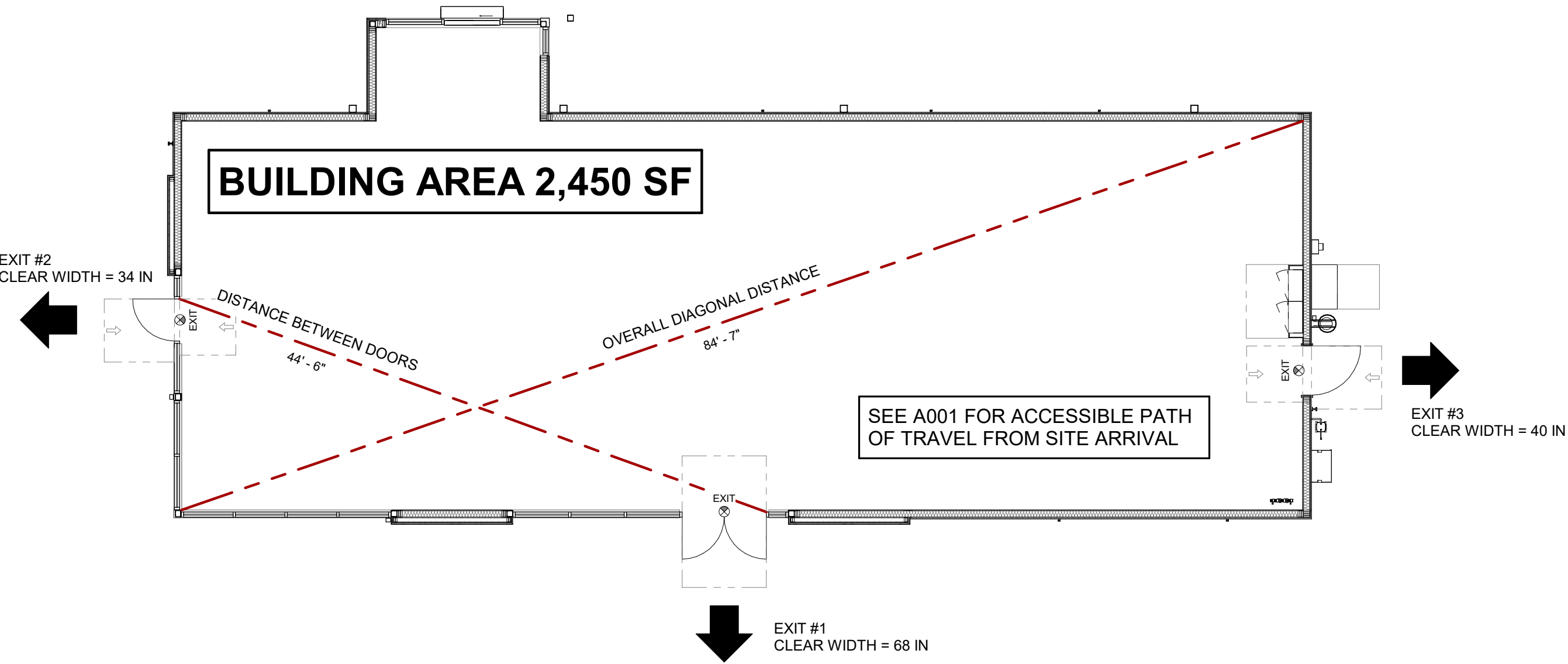
VI. INTERIOR FINISHES:
A. WALL & CEILING FINISHES (NCBC TABLE 803.13)
1. VERTICAL EXITS/PASSAGEWAYS = CLASS A
2. EXIT COORIDORS = CLASS B
3. ROOMS & ENCLOSED SPACES = CLASS C

B. FLOOR FINISHES = CLASS II - MUST COMPLY WITH DOC FF-1 'PILL TEST' (NCBC 804.4.1) OR ASTM D2859

(INTERIOR FINISHES TO BE SUBMITTED UNDER TENANT INFILL DRAWINGS)

VII. PLUMBING FIXTURE ANALYSIS (NCBC 2902)

(FINAL PLUMBING FIXTURE COUNT TO BE CALCULATED UNDER TENANT INFILL DRAWINGS | 2 LAVATORIES, 2 WATER CLOSETS, 1 MOP SINK, AND 1 WATER FOUNTAIN REQUIRED)



1 FLOOR PLAN
Scale: 1/8" = 1'-0"



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PERMIT SET
11/02/23
23359

NO.	DESCRIPTION	DATE

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CODE ANALYSIS

G002

ARCHITECTS

SEAL

CONSULTANTS

OWNER

LOCATION

DATE

REVISIONS

SHEET

