





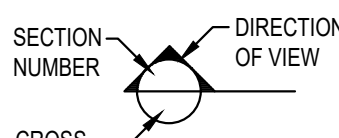
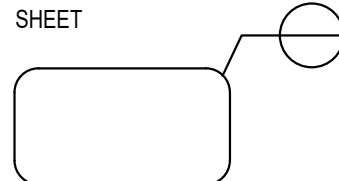



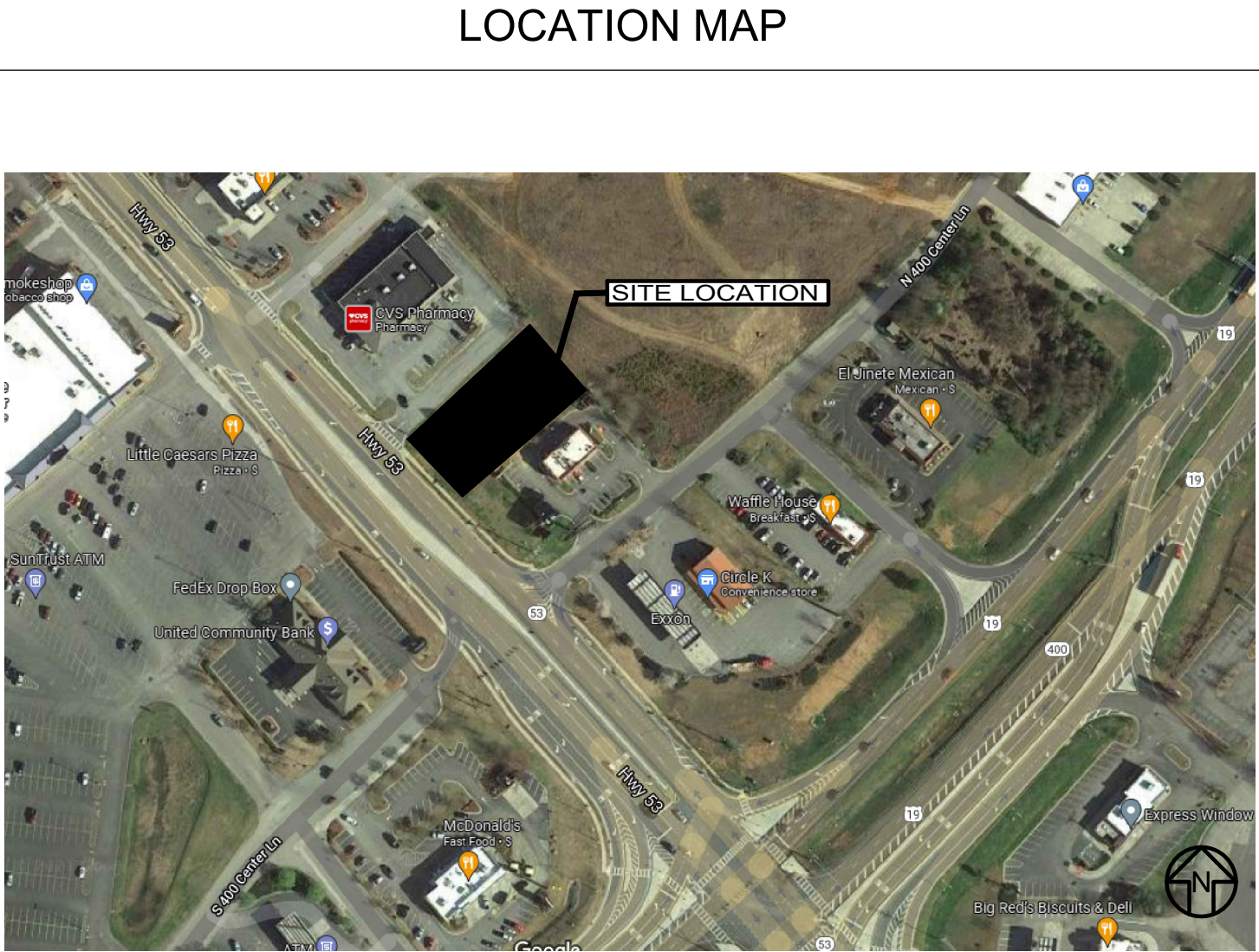
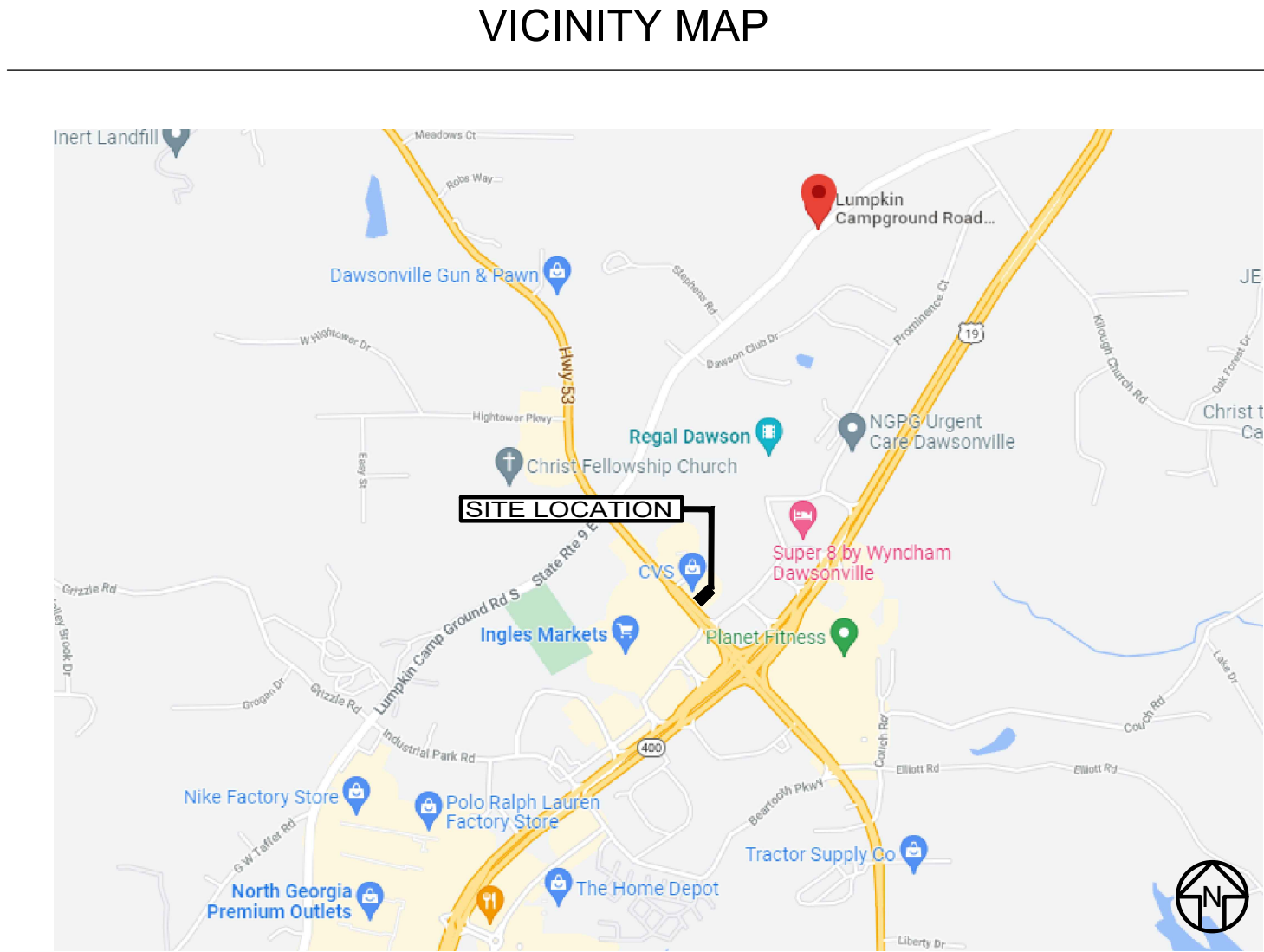
CONSTRUCTION DOCUMENTS FOR:

STRICKLAND BROTHERS

10 MINUTE OIL CHANGE

TBD HWY 53
DAWSONVILLE, GEORGIA 30534

GENERAL NOTES	BUILDING CODE ANALYSIS	SYMBOL LEGEND	CONTACTS	SHEET INDEX																																																																																																			
<p>1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER DIMENSIONS DETERMINED BY ANY OTHER SOURCE. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES. START OF WORK IS THE CONTRACTOR'S ACCEPTANCE OF THE CONFIGURATIONS REPRESENTED ON THE DRAWINGS.</p> <p>2. THE CONTRACTOR SHALL REPORT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS HE MAY DISCOVER PRIOR TO COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT.</p> <p>3. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE LAWS, LOCAL CODES, NFPA-101, AND ORDINANCES. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, THE SPECIFICATIONS, APPLICABLE LAWS, AND CODES THE MORE STRINGENT SHALL APPLY.</p> <p>4. ALL PLAN DIMENSIONS ARE TAKEN FROM FINISHED SURFACE TO FINISH SURFACE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED.</p> <p>5. ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THE ONE (1) YEAR FROM ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.</p> <p>7. THE CONTRACTOR SHALL PROVIDE WOOD BLOCKING AS REQUIRED FOR WALL MOUNTED ITEMS, SUCH AS PLUMBING FIXTURES, TABLES, SHELVING, CABINETS, GRAB BARS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY MENTIONED. ALL WOOD BLOCKING SHALL BE FIRE-RETARDANT TREATED NON-COMBUSTIBLE WOOD.</p> <p>8. ALL FINISHES SHALL MEET ALL CODES AND REQUIREMENTS.</p> <p>9. NO MATERIAL SUBSTITUTIONS SHALL BE PERMITTED AFTER THE CONTRACTOR HAS BEEN AWARDED THE JOB. SUBSTITUTIONS SHALL BE EQUAL TO OR BETTER, AS DETERMINED BY THE ARCHITECT.</p> <p>10. IT IS THE GENERAL CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO CONTACT THE ARCHITECT CONCERNING ANY ITEMS SHOWN ON THE DRAWINGS THAT ARE UNCLEAR, CONFUSING, OR OTHERWISE SUSPICIOUS TO THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS.</p> <p>11. CLOSE AND WEATHERPROOF ANY EXISTING AREA EXPOSED TO THE WEATHER DURING CONSTRUCTION PRIOR TO LEAVING THE SITE EACH DAY.</p> <p>12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DRAWINGS, COORDINATION, PERMITS, APPROVALS, AND INSTALLATION REQUIRED FOR FIRE SPRINKLER SYSTEM MODIFICATIONS OR INSTALLATION AS WELL AS ANY MODIFICATIONS, OR INSTALLATION OR REPAIRS TO FIRE ALARM SYSTEMS.</p> <p>13. THIS SET OF DRAWINGS IS INTENDED TO BE USED AS A COMPLETE SET. THE G.C. IS RESPONSIBLE FOR MAKING SURE ALL SUBCONTRACTORS REVIEWED THE COMPLETE SET OF DOCUMENTS AND INCLUDE ANY NOTES OR COMMENTS FROM OTHER DISCIPLINES WITHIN THE SET, IN THEIR BIDS.</p> <p>14. GC. REQUIRED TO HAVE CAMERA ON SITE.</p>	<p>GENERAL PROJECT INFORMATION:</p> <p>APPLICABLE BUILDING CODE:</p> <p>BUILDING: 2018 INTERNATIONAL BUILDING CODE W/ GEORGIA AMENDMENTS</p> <p>MECHANICAL: 2018 INTERNATIONAL MECHANICAL CODE W/ GEORGIA AMENDMENTS</p> <p>ELECTRICAL: 2020 NATIONAL ELECTRIC CODE W/ GEORGIA AMENDMENTS</p> <p>PLUMBING: 2018 INTERNATIONAL PLUMBING CODE W/ GEORGIA AMENDMENTS</p> <p>ENERGY: 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GEORGIA AMENDMENTS</p> <p>FIRE: 2018 INTERNATIONAL FIRE CODE W/ GEORGIA AMENDMENTS</p> <p>ACCESSIBILITY: 2010 ADA</p> <p>ZONING: COMMERCIAL HIGHWAY BUSINESS</p> <p>OCCUPANCY CLASSIFICATION: S-1 - REPAIR GARAGE</p> <p>CONSTRUCTION TYPE CLASSIFICATION: V-B</p> <p>BUILDING AREA: 1,725 SQ FT</p> <p>BUILDING ALLOWED MAXIMUM HEIGHT: 40'-0" DESIGNED BUILDING MAX HEIGHT: 29'-9"</p> <p>BUILDING SPRINKLED: NO</p> <p>OCCUPANCY: TABLE 1004.1.2</p> <p>FIRE: 1,363 SF / 300 = 5</p> <p>WAITING AREA: 151 SF / 15 = 10</p> <p>OFFICE: 126 SF / 150 = 1</p> <p>ACCESSORY: 85 SF</p> <p>TOTAL: 1,725 SF = 16 TOTAL OCCUPANTS</p> <p>REQUIRED EGRESS WIDTH: 16x2" = 3.6" DESIGNED EGRESS WIDTH: 2 EXITS @ 36" EA</p>	<p>SYMBOL DESCRIPTION</p> <p> DOOR SYMBOL</p> <p> WINDOW SYMBOL</p> <p> ROOM NUMBER</p> <p> ELEVATION SYMBOL</p> <p> SECTION SYMBOL</p> <p> DETAIL SYMBOL</p> <p> TITLE SCALE: X" = 1'-0" DRAWING TITLE</p>	<p>OWNER:</p> <p>N3 REAL ESTATE</p> <p>1240 N KIMBALL AVE.</p> <p>SOUTHLAKE, TX 76092</p> <p>Phone: (609) 651-9327</p> <p>CONTACT: COLLEEN THELEN</p> <p>EMAIL: cthelen@n3realestate.com</p> <p>ARCHITECT:</p> <p>JOHN FRANZ ARCHITECT</p> <p>4055 INTERNATIONAL PLAZA, SUITE 100</p> <p>FORT WORTH, TX 76109</p> <p>(817) 737-9922</p> <p>CONTACT: TANIA INIGO</p> <p>EMAIL: tinigo@franzarchitects.com</p> <p>CIVIL /LANDSCAPE:</p> <p>THE JOHN R. McADAMS COMPANY, INC.</p> <p>2905 MERIDIAN PARKWAY</p> <p>DURHAM, NC 27713</p> <p>Phone: (919) 361-5000</p> <p>CONTACT: Stan Wingo</p> <p>EMAIL: wingo@mcadamsco.com</p> <p>STRUCTURAL:</p> <p>RONALD ROBERTS ASSOCIATES, INC.</p> <p>2948 N. STEMMONS FWY.</p> <p>DALLAS, TX 75247</p> <p>Phone: (214) 637-6299</p> <p>CONTACT: CRAIG BAILEY</p> <p>EMAIL: cbailey@rrara.net</p> <p>MEP:</p> <p>CASE ENGINEERING, INC.</p> <p>796 MERUS COURT</p> <p>ST. LOUIS, MO 63026</p> <p>Phone: (636) 349-1730</p> <p>CONTACT: JOHN VIRTUDAZO</p> <p>EMAIL: jvirtudazo@caseengineeringinc.com</p>	<table><tr><th>NO.</th><th>DESCRIPTION</th><th>REVISIONS</th></tr><tr><td></td><td></td><td></td></tr><tr><td>A0.0</td><td>COVER SHEET</td><td></td></tr><tr><td colspan="3">ARCHITECTURAL</td></tr><tr><td>A0.2</td><td>SITE PLAN</td><td></td></tr><tr><td>A0.3</td><td>SITE DETAILS</td><td></td></tr><tr><td>A0.4</td><td>SITE DETAILS</td><td></td></tr><tr><td>A0.5</td><td>LIFE SAFETY PLAN</td><td></td></tr><tr><td>A1.1</td><td>FLOOR PLAN</td><td></td></tr><tr><td>A1.2</td><td>ROOF PLAN</td><td></td></tr><tr><td>A1.3</td><td>REFLECTED CEILING PLAN</td><td></td></tr><tr><td>A1.4</td><td>ENLARGED RESTROOM PLAN AND ELEVATIONS</td><td></td></tr><tr><td>A2.0</td><td>BUILDING ELEVATIONS</td><td></td></tr><tr><td>A2.1</td><td>BUILDING ELEVATIONS</td><td></td></tr><tr><td>A2.2</td><td>BUILDING SECTIONS</td><td></td></tr><tr><td>A2.3</td><td>WALL SECTIONS</td><td></td></tr><tr><td>A2.4</td><td>WALL SECTIONS</td><td></td></tr><tr><td>A2.5</td><td>EQUIPMENT PLAN AND SCHEDULE</td><td></td></tr><tr><td>A2.6</td><td>DOOR AND WINDOW DETAILS</td><td></td></tr><tr><td>A2.7</td><td>PIT FRAME AND DETAILS</td><td></td></tr><tr><td>SP1.0-SP1.3</td><td>SPECIFICATIONS</td><td></td></tr><tr><td>ADA-1</td><td>ADA GUIDELINES</td><td></td></tr><tr><td>ADA-2</td><td>ADA GUIDELINES</td><td></td></tr><tr><td>ADA-3</td><td>ADA GUIDELINES</td><td></td></tr><tr><td colspan="3">STRUCTURAL</td></tr><tr><td>S0.0</td><td>STRUCTURAL NOTES</td><td></td></tr><tr><td>S1.0</td><td>FOUNDATION PLAN</td><td></td></tr><tr><td>S1.1</td><td>WALL / CEILING FRAMING PLAN</td><td></td></tr><tr><td>S1.2</td><td>ROOF FRAMING PLAN</td><td></td></tr><tr><td>S2.0</td><td>SECTIONS AND DETAILS</td><td></td></tr><tr><td>S2.1</td><td>SECTIONS AND DETAILS</td><td></td></tr><tr><td>S3.0</td><td>SECTIONS AND DETAILS</td><td></td></tr><tr><td>S3.1</td><td>SECTIONS AND DETAILS</td><td></td></tr></table>	NO.	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NOTE:
SHOP DRAWINGS AND SAMPLES (AS APPLICABLE) SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL FOR THE FOLLOWING ITEMS OVER AND ABOVE THOSE CALLED FOR ELSEWHERE ON THE CONSTRUCTION DOCUMENTS.
A. STRUCTURAL AND MISCELLANEOUS STEEL FABRICATION,
B. ROOFING SYSTEM,
C. DOOR AND WINDOW FRAMES, DOORS AND HARDWARE,
D. HVAC UNITS
E. LIGHT FIXTURES, PANEL BOARDS, AND ACCESSORIES

